

HERITAGE IMPACT STATEMENT



Christ Church, Bexley

1A, 1B and 1C Dunmore Street North and 38 Albyn Street, Bexley

June 2022|J5212

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Cover Image: *Christ Church, Bexley*, 1902.
Rockdale Library.

1.0 INTRODUCTION

1.1 Preamble

This Heritage Impact Statement (HIS) has been prepared in conjunction with a Development Application for new works at Christ Church, Bexley, Nos. 1A, 1B and 1C Dunmore Street North and No. 38 Albyn Street, Bexley, New South Wales. The proposal includes the construction of a new Church Hall, alterations and additions to the existing Church Hall to create a child care centre, the demolition of the Rectory, the removal of pews from the Church and associated landscaping works.

Christ Church, Bexley is located within the Bayside City Council local government area. The principal planning control for the site is the *Bayside Local Environmental Plan 2021 (LEP 2021)*. Part of the site is listed as a heritage item by Schedule 5 Part 1 of the *LEP 2021*. Under Part 5.10 of the *LEP 2021*:

(4) Effect of proposed development on heritage significance

The consent authority must, before granting consent under this clause in respect of a heritage item or heritage conservation area, consider the effect of the proposed development on the heritage significance of the item or area concerned. This subclause applies regardless of whether a heritage management document is prepared under subclause (5) or a heritage conservation management plan is submitted under subclause (6).

(5) Heritage assessment

The consent authority may, before granting consent to any development:

- (a) on land on which a heritage item is located, or
- (b) on land that is within a heritage conservation area, or
- (c) on land that is within the vicinity of land referred to in paragraph (a) or (b), require a heritage management document to be prepared that assesses the extent to which the carrying out of the proposed development would affect the heritage significance of the heritage item or heritage conservation area concerned.

The appropriate heritage management document in this instance is a Heritage Impact Statement (HIS).

This statement has been prepared at the request of the owners of the site and accompanies plans prepared by Plus Architecture (architecture) and Umbaco Landscape Architects (landscape).

1.2 Authorship

This statement was prepared by Alice Fuller, B.Appl.Sc.(CCM), M.Herit.Cons.(Hons.), and James Phillips, B.Sc.(Arch.), B.Arch., M.Herit.Cons.(Hons.), of Weir Phillips Heritage and Planning.

1.3 Limitations

An Aboriginal assessment and historical archaeology were not provided for.

A search of Council records was not carried out.

1.4 Methodology

This statement has been prepared with reference to the *NSW Heritage Manual* update *Statements of Heritage Impact* (2002) and with reference to the Council planning controls listed under Section 1.4.2.

1.4.1 Physical Evidence

A site visit was carried out in November 2021. Unless otherwise stated, the photographs in this statement were taken by the authors on this occasion.

1.4.2 Documentary Evidence

1.4.2.1 Planning Documents

- *Bayside Local Environmental Plan 2011.*
- *Rockdale Development Control Plan 2011.*

1.4.2.2 General References

- 'Advertising (Ocean View Estate), *The Sydney Morning Herald*, 9 December, 1884, p.12.
- 'Bexley Progress Association,' *The St. George Call*, 2 October, 1909, p.4.
- 'Christ Church, Bexley,' *The St. George Call*, 22 December, 1906, p.1.
- 'Church's Golden Jubilee,' *The Propeller*, 18 February, 1937, p.2.
- 'Church of England, Bexley,' *The Sydney Morning Herald*, 20 July, 1886, p.12.
- 'Classified Advertising (Sales by Auction),' *The Sydney Gazette and New South Wales Advertiser*, 28 May, 1833, p.3.
- Geeves, Philip and Jervis, James, *Rockdale: Its Beginnings and Development*, NSW, The Municipal Council of Rockdale, n.d.
- General News,' *The Daily Telegraph*, 26 July, 1886, p.5; 'Christ Church, Bexley,' *The Sydney Morning Herald*, 26 July, 1886, p.5.
- Hatton, D.J., *Hurstville 1770-1850*, NSW, Hurstville Historical Society, undated, p.3.
- 'Hatred, Variance, and Divorce,' *The Sydney Morning Herald*, 12 October, 1894, p.6.
- Lea-Scarlett, Erroll, *The Faith of the Forest: A History of Catholic Hurstville*, Hurstville, St. Michael's Parish, 1985.
- 'New English Church at Bexley,' *The Daily Telegraph*, 19 July, 1886, p.7.
- 'Opening of Christ Church, Bexley,' *The Sydney Morning Herald*, 28 February, 1887, p.3.
- PRA Sustainable Urbanism, *Christ Church, Dunmore Street, Bexley: Heritage Assessment*, undated.
- 'Progress of Sydney,' *The Sydney Morning Herald*, 27 January, 1904, p.8.
- Rathbone, R.W, *A Village Called Arncliffe*, NSW, The Author, 1997.
- 'Rectory Foundation Stone Laying,' *The St. George Call*, 20 July, 1923, p.1.
- 'School -Hall at Bexley,' *The Daily Telegraph*, 12 February, 1904, p.7.
- 'The Suburbs of Sydney, No. XXVII-Hurstville: A History of its Progress', *Sydney Morning Herald*, 23 October, 1925(?). *Mitchell Library Newspaper Cuttings*, Vol. 159.
- 'Tenders,' *The Sydney Morning Herald*, 10 December, 1917, p.9.

1.4.2.3 NSW LPI Records

- Certificates of Title Volume 632 Folio 196; Volume 760 Folio 208; Volume 790 Folio 36; Volume 790 Folio 77; Volume 788 Folio 61; C.T. Volume 924 Folio 92; Volume 1585 Folio 10; and C.T. Volume 1631 Folio 66.

1.4.2.4 Plans and Photographs

- *(Aerial photograph over Bexley)*, 1943. SIX Maps.
- *A Bexley Council Civic Function*, 1947. Rockdale Library.

- *Christ Church, Bexley*, c.1900. Rockdale Library.
- *Christ Church, Bexley*, 1902. Rockdale Library.
- *Ocean View Estate*, 1891. National Library of Australia
- *Odeon Cinema, Bexley*, undated. <http://cinematreasures.org/theaters/35296>.

1.4.2.5 Heritage Listing Sheets

- *Christ Church Anglican Church and Hall*, Nos.1A, 1B and 1C Dunmore Street North, Bexley. State Heritage Inventory, Heritage Item ID 2330201.

1.5 Site Location

The site is located on the eastern corner of Dunmore Street North and Albyn Street, Bexley (Figure 1). The site comprises Lots 18 and 21 Section 2 D.P.1680 and Lots 19 and 20 Section 2 D.P. 1036.

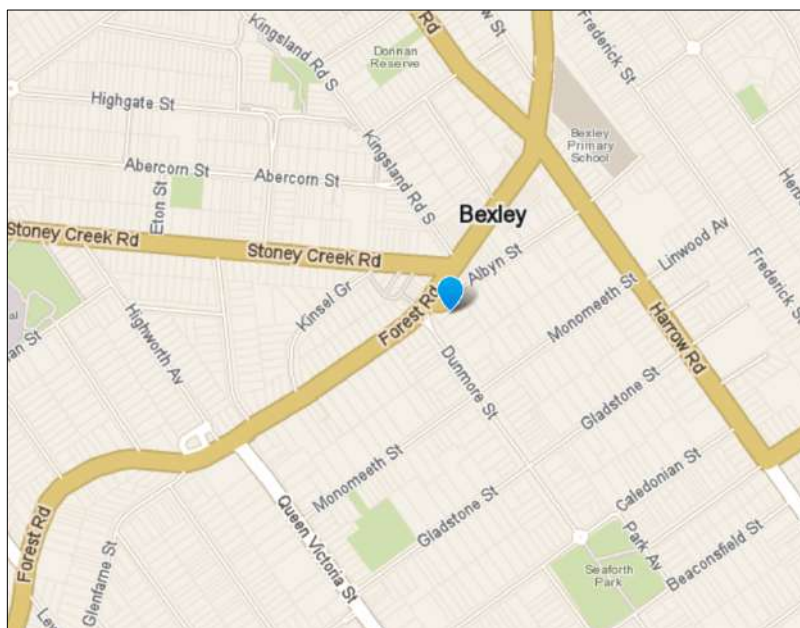


Figure 1:
Location of the Site.
SIXMaps.

2.0 HISTORICAL DEVELOPMENT OF THE SITE

2.1 Original Occupation

Whilst an Aboriginal history is not provided for, it is acknowledged that the Gweagal, Bidjigal and Gadigal people are the traditional custodians of the lands now part of the Bayside Council area.

2.2 Early European Exploration

Captain James Cook landed at eleven places along the eastern coast of Australia between April and August 1770. At the beginning of this period, Cook explored the area immediately surrounding Botany Bay, noting the mouths of two rivers that would later be known as the Cooks and Georges Rivers.

Encouraged by Cook's accounts of Botany Bay and the reports of the expedition's botanists, Joseph Banks and Daniel Solander, the British Government chose Botany Bay as the site for a new penal settlement.

Following his arrival in Botany Bay in January 1788 at the head of the First Fleet, Captain Arthur Phillip directed a number of expeditions in search of a suitable site for

settlement. Lieutenants Dawes and King explored along the Georges River as far as Lugarno Point, where they found deep coves and some lagoons, but no fresh water. Despite the praise of Cook and Banks, the Bay was clearly not a suitable place for immediate settlement. With the departure of the First Fleet for Sydney Cove soon after, the area inland from Botany Bay and away from the waterways was left essentially undisturbed by the colonists (exploratory parties aside) for some time to come.

A number of expeditions passed through the area surrounding the Cooks and Georges Rivers during the late 1780s. Captain Phillip, for example, headed a party that walked along part of the northern bank of the Georges River from its junction with Prospect Creek, as far as Salt Pan Creek. In late 1789, Captain Hunter surveyed the Georges River as far as Salt Pan Creek and Alford's Point, concluding that the area was not of immediate interest.¹

In 1795, six years after Hunter's foray along the Georges River, George Bass and Mathew Flinders traced the river twenty miles beyond the place where Hunter had completed his survey. Their reports of good soil along the river bank- 'equal to any on the banks of the Nile of New South Wales'- prompted the foundation of a new settlement at Bankstown in 1797.²

The suitability of land for farming was not the only characteristic of interest to the early colonists. As the number of brick buildings in Sydney began to increase, the search for sources of lime for mortar extended to the Aboriginal middens along the shores of Botany Bay and the Cooks and Georges Rivers. Equally attractive were the thick forests of iron bark, blackbutt, stringybark and blue and red gum that covered the area.

For the greater part of the nineteenth century, progress was limited by the difficulties of access into and out of the area. The earliest principal mode of access was by river; travel overland was slow and depended on a limited number of river crossings. The main land route was by way of Punchbowl Road, through Enfield to the Liverpool Road.³ Alternatively, the traveller could attempt to ford the river at Tempe; this crossing, however, was both tidal and deep. These transport challenges in turn dictated patterns of settlement.

2.3 James Chandler and Bexley Park

Ignoring the presence of the Aboriginal people, all land in the new Colony was declared to be Crown Land. The earliest grants to the south of the Cooks River were made in the early 1800s. The subject site remained Crown Land until it became part of a 1,200 acres made to James Chandler on 19 October, 1831.⁴

James Chandler was a free settler who had arrived in the Colony in 1820 and opened a general merchandise store in Pitt Street, Sydney. In 1822, Chandler purchased the 100 acre 'Sylvester's Farm' on Wolli Creek. In the same year, he made a request for a 1,200 acre grant adjoining 'Sylvester's Farm'.⁵ It would be nine years before the grant was officially confirmed. Chandler's 1,200 acre grant covered what is now Bexley, most of Rockdale and large parts of Bexley North and Kogarah. Chandler named his grant 'Bexley' or 'Bexley Park,' after Bexley, Kent.⁶

At the time that Chandler gained official title to his land, the area was still sparsely settled. The census of 1828 indicates that ,within the whole district known as Botany

¹ Errol Lea-Scarlett, *The Faith of the Forest: A History of Catholic Hurstville*, Hurstville, St. Michael's Parish, 1985, p.1.

² Mathew Flinders, cited in D.J. Hatton, *Hurstville 1770-1850*, NSW, Hurstville Historical Society, undated, p.3.

³ 'The Suburbs of Sydney, No. XXVII-Hurstville: A History of its Progress', *Sydney Morning Herald*, 23 October, 1925(?). *Mitchell Library Newspaper Cuttings*, Vol. 159.

⁴ See C.T. Volume 790 Folio 77. NSW LPI.

⁵ Philip Geeves and James Jervis, *Rockdale: Its Beginnings and Development*, NSW, The Municipal Council of Rockdale, n.d.,p. 17,

⁶ Notices in *The Sydney Gazette and New South Wales Advertiser*.

Bay, there were only 184 people. The population was overwhelmingly male and emancipist. There were 4,795 acres in occupation, 824 of which had been cleared and 558 of which were under actual cultivation.⁷

Several events of the late 1820s and the 1830s drew attention to the undeveloped potential of the area to the south of the Cooks River. In the mid 1830s, prominent Sydney merchant Alexander Brodie Spark built *Tempe House* on the Cooks River. Sparke is said to have entertained over 500 people, including leading colonial figures, in his first year of residence.⁸ The second significant event of this era was the gazettal of the Parish of St. George, announced in the *Sydney Gazette* on 16 May, 1835. The parish encompassed the later Municipalities of Rockdale, Kogarah and Hurstville (now parts of Bayside) and part of Canterbury.⁹ The most significant event of this period, however, was the completion of the Cooks River Dam in 1839. While unsuccessful in its purpose of improving Sydney's water supply, the dam wall provided the first direct land route between Sydney and the area.

The road across the Cooks River Dam was not officially marked until it became part of Mitchell's Line of Road to the South Coast in 1843. This road, one of the last major projects carried out by convict labour in New South Wales, was sometimes referred to as the Illawarra or Wollongong Road. Contemporary to the construction of the Illawarra Road, the older brindle track, which gave access to the grants between the Cooks and George's Rivers, was straightened and improved and given the name Rocky Point Road.¹⁰ The improving of these two routes encouraged an influx of sawyers, charcoal burners, shingle splitters and, to a lesser extent, small farmers and market gardeners.

Chandler lived on his 1,300 acres before subdividing it into allotments of 25 to 100 acres in 1833. The allotments were described as being 'well-watered' and 'well-timbered,' with good soil and an abundance of wildlife.¹¹ A track, later Forest Road, ran through it. The sale was not a success and, in 1836, his entire 1,300 acre holding was sold to Charles Tompson who, when his business affairs suffered during the 1840s depression, also tried, unsuccessfully, to subdivide and sell the land.

The wider area comprising the Parish of St. George was developing slowly, but steadily during the 1840s. The 1841 census records that there were 453 people living in the parish. Of the 87 houses in the parish, 80 were of timber and 7 of stone or brick. At the time of the next census, held in 1846, the population had grown to 611 people.¹²

Bexley Park eventually passed into the hands of Charles James Tindell, who redeemed the outstanding mortgagees and subdivided it in the 1850s. By 1859, the great part of Bexley was owned by Sydney merchant William Wolfen.¹³ During the 1860s, a township, later Bexley, developed by the main road that connected the crossing at the Cooks River with the crossing of The Georges River further south. The height and outlook of the area attracted a number of wealthy families who built large villas.¹⁴ Increasing population encouraged the establishment of businesses and services. The first recorded Anglican Church services in the area were held in the open air near the former White's brick kiln in Princes Street.¹⁵ The first Church of England churches constructed in the area were St. George's Hurstville (1856) and St. Paul's at Kogarah (1869).

⁷ Statistics cited in R.W. Rathbone, *op.cit.*, 1997, p.6.

⁸ R.W. Rathbone, *op.cit.*, 1997, p.15.

⁹ *Ibid*, p.5.

¹⁰ R.W. Rathbone, *A Village Called Arncliffe, NSW, The Author*, 1997, p.23.

¹¹ 'Classified Advertising (Sales by Auction),' *The Sydney Gazette and New South Wales Advertiser*, 28 May, 1833, p.3.

¹² D.J. Hatton, *op.cit.*, undated, p.9.

¹³ Philip Geeves and James Jervis, *Rockdale: Its Beginnings and Development*, NSW, The Municipal Council of Rockdale, n.d., p. 24.

¹⁴ PRA Sustainable Urbanism, *Christ Church, Dunmore Street, Bexley: Heritage Assessment*, undated, pp.8-9.

¹⁵ *Ibid*, p.9.

By the late 1870s, the future growth of the area was seen to be largely dependent on the railway. Rockdale and Kogarah Stations opened in 1884. Three years later, local government came to the area. The subject site originally formed part of the Hurstville Municipality, incorporated in 1887, and later part of Bexley Municipality, incorporated in 1900.

2.4 Ocean View Estate

Subdivision was encouraged by the promise of the railway and general population increase across the Colony. The subject site stands on the Ocean View Estate, first offered for sale in 1883. Refer to Figure 2. An advertisement for land on the estate in 1884 described it as being a place of wide streets, grand views and parks for recreation. The proximity of Rockdale and Kogarah Railway Stations was noted.¹⁶ The subdivision was carried out by the Ocean View Estate Company Ltd.¹⁷

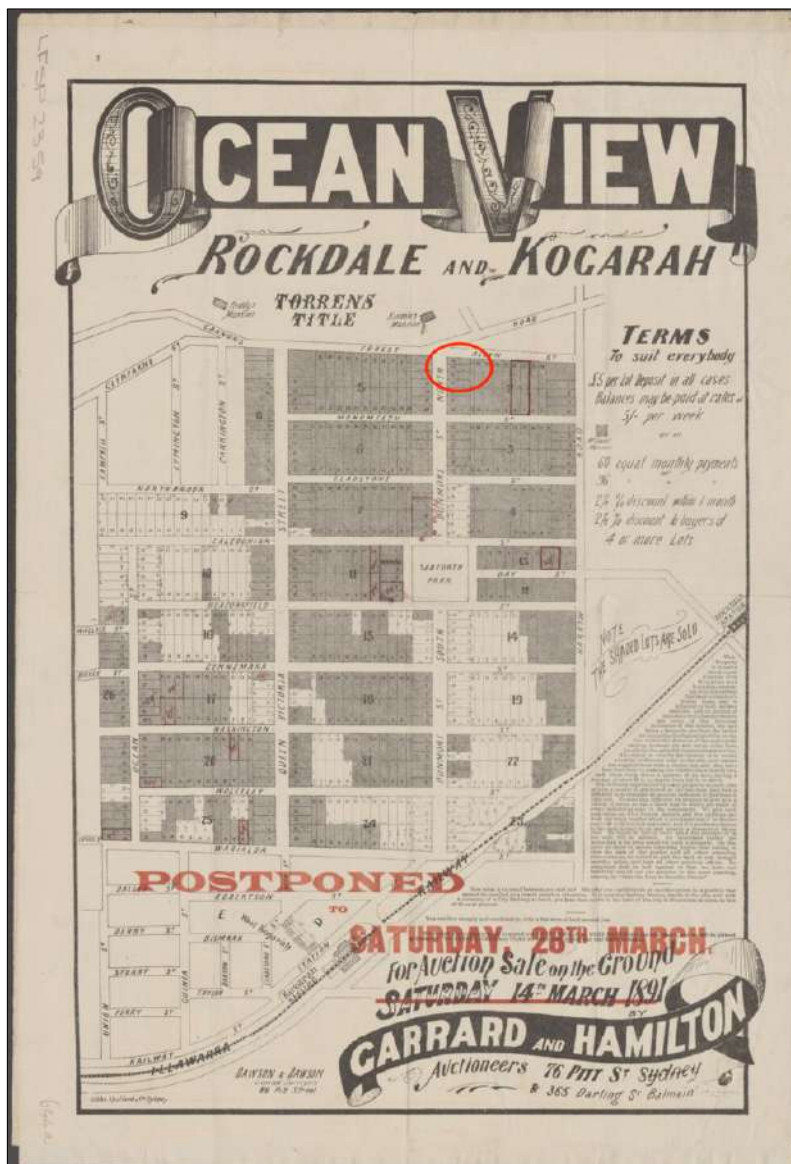


Figure 2: Ocean View Estate, 1891.

National Library of Australia; annotation by WP Heritage and Planning.

¹⁶ 'Advertising (Ocean View Estate), The Sydney Morning Herald, 9 December, 1884, p.12.

¹⁷ See C.T. Volume 632 Folio 196. NSW LPI.

2.5 Construction of Christ Church

On 5 April 1886, Lot 20 Section 2 D.P. 1036 of the Ocean View Estate was sold to William Harris Saunders, a clerk in holy orders from Kogarah, George Predley, a timber merchant from Bexley and Henry Kinsella, a gentleman from Bexley. Shortly thereafter, on 19 April, the lot was transferred to Joseph Davis, a gentleman of Bexley, who would remain the registered owner until 1937, when it was transferred to the Church of England Property Trust, Diocese of Sydney.¹⁸ Two of these gentlemen were prominent local residents. Kinsella owned 'Kinselgrove' and Davis, 'Lynham Hill,' two of the late Victorian villa erected in the area. It is on Lot 20 that Christ Church now stands.

By 1885, there were sufficient people within the area to warrant the construction of a church. The foundation stone was laid in July 1885 by The Right Reverend Alfred Barry, Primate of the Church of England in Australia (Figure 3). The funding for its construction came from established parishes in nearby areas and local people. According to a newspaper report, the weather was 'inclement' on the day chosen for the laying of the foundation stone, necessitating a delay to the following week when there was a 'moderately large gathering' of local people and a 'few visitors from Sydney and elsewhere.'¹⁹

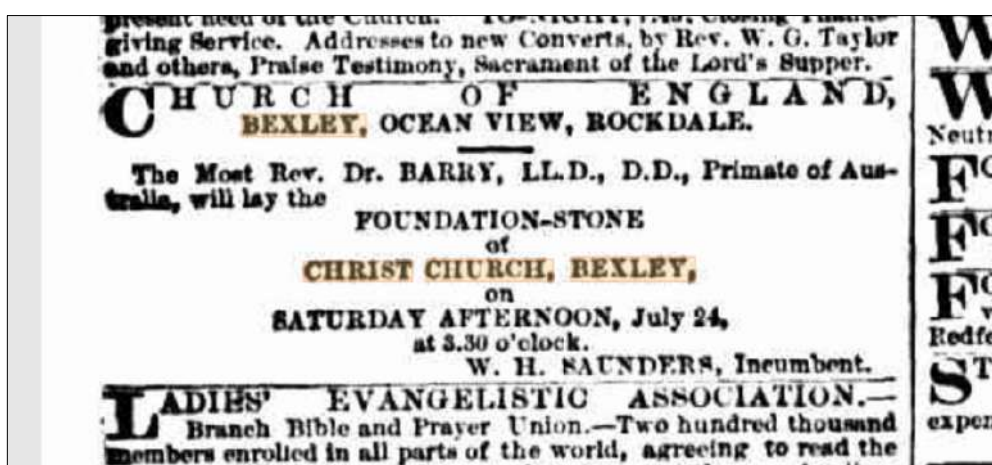


Figure 3: Laying of the foundation stone for the Church.

The Sydney Morning Herald, 20 July, 1886, p.12.

The *Daily Telegraph* carried a detailed description of the Church that was to be built. The architects are identified as Messrs. Ransom and Hardy of Eldon Chambers, Pitt Street and the builder as John Bonner. The total cost of construction was £848.9.6. Four stained glass windows were installed by Lyon, Cottier and Co. at a cost of £52.3.6.²⁰ Refer to Figure 4.

¹⁸ Transfer cited C.T. Volume 790 Folio 77. NSW LPI.

¹⁹ 'General News,' *The Daily Telegraph*, 26 July, 1886, p.5; 'Christ Church, Bexley,' *The Sydney Morning Herald*, 26 July, 1886, p.5.

²⁰ See the Church balance sheet for 1887 cited in PRA Sustainable Urbanism, *Christ Church, Dunmore Street, Bexley: Heritage Assessment*, undated, p.10. The detail is not clear.

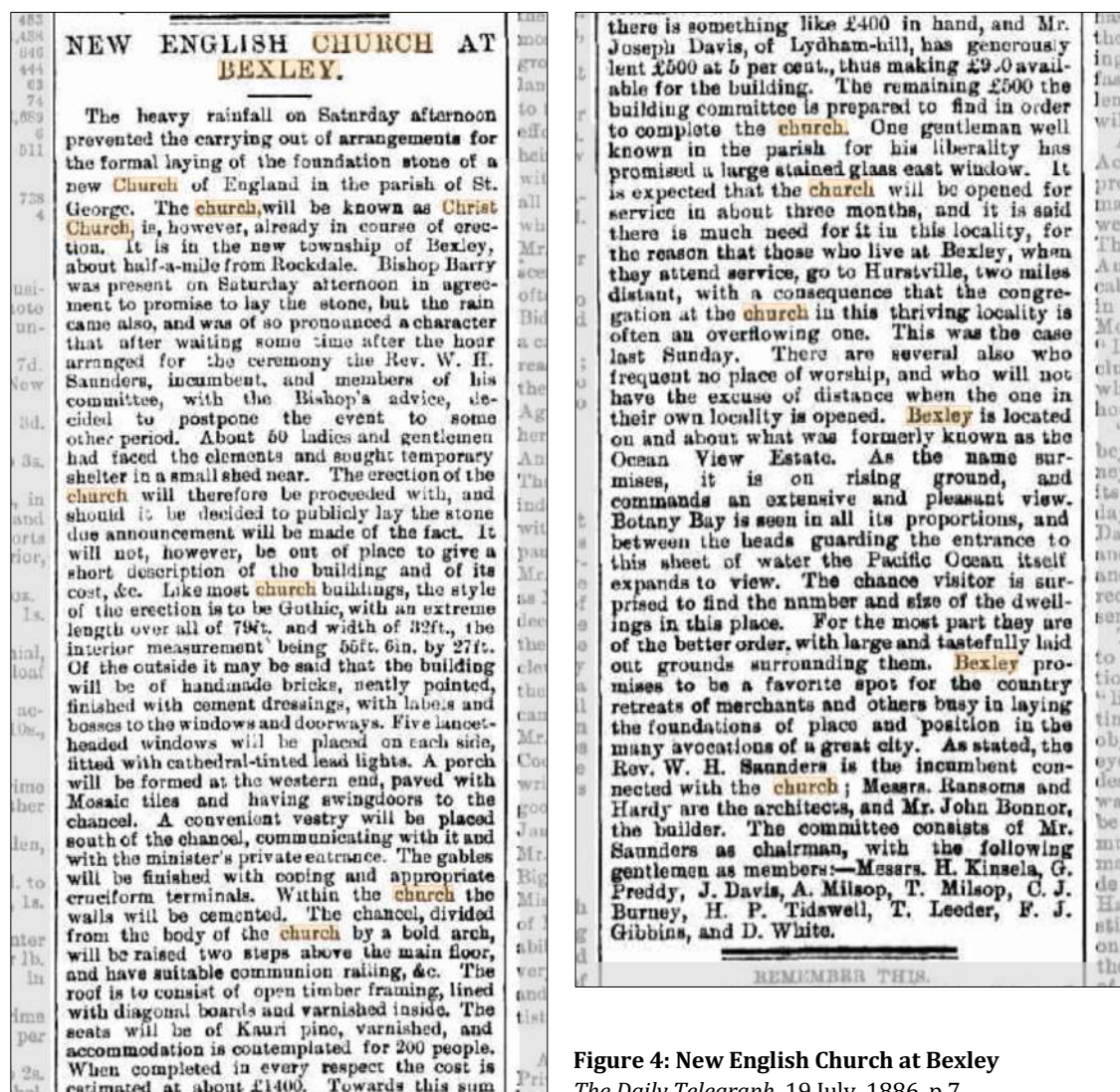


Figure 4: New English Church at Bexley
The Daily Telegraph, 19 July, 1886, p.7.

Christ Church, Bexley was dedicated in February 1887 by the Rev. Barry. The first minister was the Rev. William Harris Saunders, who was followed shortly after by the much loved Rev. C.J. Byng, who served from 1904 for 16 years and who was:

'....noted far and wide for eloquence and rare gifts as an orator and lecturer.'²¹

The Sydney Morning Herald reported that:

'This pretty little Anglican church, which is situated on Bexley heights, about half a mile from Rockdale railway station was formally opened and dedicated by the Primate on Saturday afternoon, in the presence of a large number of the congregation.'²²

The Parish of St. George was formally created under church ordinances, following a petition for the formal recognition of the church as a Parish. By 1906, the Parish had grown to the extent that a curate was appointed. In 1919, the separate Parish of Bexley was created.

²¹ 'Christ Church, Bexley,' *The St. George Call*, 22 December, 1906, p.1.

²² 'Opening of Christ Church, Bexley,' *The Sydney Morning Herald*, 28 February, 1887, p.3.

Figures 5 and 6 provide two early photographs of the Church. Figures 5 and 6 are dated by the PRA Sustainable Urbanism Heritage Assessment to after 1915 'due to the presence of the church hall.' These same photographs are dated to c.1900 and 1902 by Rockdale Library respectively. The building just visible in Figure 6 to the rear of the church is not the existing Church Hall suggesting that these photographs do pre-date 1915. Despite the dates given by the Library for both photographs, judging by the size of the two trees, Figure 6 appears to be the older of the two photographs.



Figure 5: Christ Church, Bexley, c.1900. This is the date given by the Library. Rockdale Library.



Figure 6: Christ Church, Bexley, 1902. This is the date given by the Library. Note the timber fencing and the lack of trees to the front of the church. This photograph is more likely to pre-date Figure 5 because the trees to the front of the Church are less mature.

Rockdale Library.

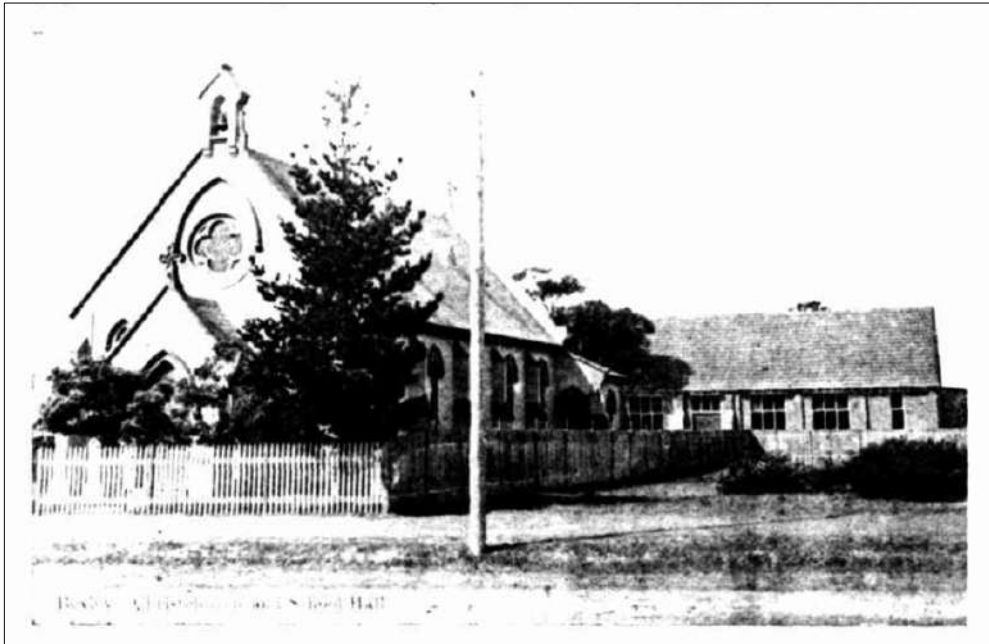


Figure 7: Christ Church, Bexley, 1906. Note the fencing around the Hall and Church. The tennis courts had yet to be constructed.

St. George Call, 22 December, 1906, p.1.

Henry Kinsela also purchased Lot 19 Section 2 D.P. 1036 of the Ocean View Estate on 5 April, 1886. This lot would be owned by various people (likely trustees for the Church) before being transferred to the Church of England Property Trust, Diocese of Sydney in 1923.²³ Lot 19 is now the carpark that lies between the Church and the Rectory. Two tennis courts were erected on this land in 1919 and a tennis club established.²⁴ Newspapers articles reveal that the Church also fielded other sporting teams at various times, including cricket and baseball teams.

2.6 Construction of the Church Hall

The Church Hall stands on Lot 21 and part of Lot 22 Section 2 of D.P. 1680 (Ocean View Estate), which was conveyed to John Howell Price of Bexley, minister of the Church of England, Isaac Chapman of Bexley, merchant, and Nicholas Lockery of Bexley, customs collector, on 26 June, 1905. This land was subsequently conveyed to the Church of England Property Trust Diocese of Sydney in July, 1914.²⁵

There is little information in the previous heritage assessment about the Church Hall. According to an article in *The Daily Telegraph* in February 1904, the Hall was opened on 10 February in that year with an inaugural address by Mr. J.H. Carruthers, M.L.A., followed by a grand concert. The rector of the parish, the Rev. C.J. Byng, stated that:

‘...The beautiful and commodious building in which they were assembled of whose good acoustic properties they would be enabled to judge later on, had its origins some time ago in the efforts of a committee of ladies, aided by others in the parish....Their thanks were also due to the architect of the building (Mr. W. Kenwood of Bexley), who had given his services gratuitously, and others who had generally aided them. The building would not only serve as a place for holding a Sunday school, but would be mainly useful for social, literary and other parochial meetings, not even excluding politics....’

²³ Transfers cited C.T. 790 Volume 36 and C.T. 760 Folio 208. NSW LPI.

²⁴ PRA Sustainable Urbanism, *Christ Church, Dunmore Street, Bexley: Heritage Assessment*, undated, p.14.

²⁵ C.T. Volume 788 Folio 61; C.T. Volume 1585 Folio 10; and C.T. Volume 1631 Folio 66. NSW LPI.

Mr. Carruthers said that he had small faith in mere Sunday religion. Every church might possess a hall such as that, in which the social influence of the Church might be exerted every day.....

The building measure 65ft by 29ft.6in. and is seated for 375 persons, but will hold 400. It is constructed of brick, on stone foundations. The roof is tiled and is supported by six framed principals.²⁶

The Hall was cited along with many other buildings as evidence of the 'Progress of Sydney' in an article about building operations for 1903 across Sydney, which had resulted in an expenditure of over £3,000,000 sterling.²⁷

Newspaper articles reveal that the Church Hall was used for many and varied events, including political meetings and musical performances. In 1909, the Bexley Progress Association, for example, meet in the hall.²⁸ It does not appear to have been the first hall associated with Christ Church. There are references in the 1890s to the 'Christ Church' school room. Where this building was has not be ascertained for the purposes of this statement.²⁹ It may be the building visible in Figure 6 above.

According to the previous heritage assessment, an extension was made to the Church Hall in 1918 following plans and specifications prepared by the diocesan architect.³⁰ It is noted, however, that tenders for additions to the 'Christ Church, Parish Hall, Bexley,' were to be forward to architect Burcham Clamp (dated 10 December, 1917).³¹

The congregation to the Church was growing during this period in line with growth within the wider area. According to *John Sands' Sydney and Suburban Directories*, by 1920, there were 15,000 people in the Municipality of Bexley by 1920 and over 3,000 dwellings. Closer to home, the number of listings along Dunmore Street steadily increased during the same period. Access would have improved with the opening of the tramway from Arncliffe Railway Station via Firth and Done Streets, onto Wollongong, Forest and Stoney Creek Roads to Bexley Park in October 1909. Growth would continue into the Interwar period so that by 1932-3, the last year in which *Sands' Directories* were published, there were 22, 000 people in the Municipality and 5,000 dwellings.

The construction of the Hall appears to have raised concern within thirty years of its completion. In 1925, it was noted in the Church News that the Hall was becoming a substantial liability owing to the large expenditure necessary for repairs.³²

Refer to Figures 8 and 9 and to Figure 7 above. The Bexley Council Civic function in Figure 7 may have been among the last of its kind. The following year, in 1948 Bexley Council merged with Rockdale Council to form the Municipality of Rockdale.

²⁶ 'School -Hall at Bexley,' *The Daily Telegraph*, 12 February, 1904, p.7.

²⁷ 'Progress of Sydney,' *The Sydney Morning Herald*, 27 January, 1904, p.8.

²⁸ 'Bexley Progress Association,' *The St. George Call*, 2 October, 1909, p.4.

²⁹ See, for example, 'Hatred, Variance, and Divorce,' *The Sydney Morning Herald*, 12 October, 1894, p.6.

³⁰ PRA Sustainable Urbanism, *Christ Church, Dunmore Street, Bexley: Heritage Assessment*, undated, p.11.

³¹ 'Tenders,' *The Sydney Morning Herald*, 10 December, 1917, p.9.

³² PRA Sustainable Urbanism, *Christ Church, Dunmore Street, Bexley: Heritage Assessment*, undated, p.14.



Figure 8:
A Bexley
Council Civic
Function, 1947.
Rockdale
Library.



Figure 9:
The Church
Hall, c.1960s-
1970s with the
Odeon Cinema,
built in 1924
and remodelled
in 1939, since
demolished and
replaced with
flats.
<http://cinematreaasures.org/theaters/35296>.

2.7 Construction of the Rectory

On 4 November, 1912, Lot 18 Section 2 D.P. 1680 (the Ocean View Estate) was transferred from Herbert Charles Tiller and Arthur Percy Tiller to John Kent, Wilfred Law Docker, both of Sydney, esquire, and Henry Wallace Mort, of Woollahra, clerk in holy orders. This lot would thereafter be owned by various people until it was transferred to the Church of England Property Trust Sydney Dioceses in February 1923.³³ It is on this land that the Rectory now stands.

According to the PRA Sustainable Urbanism Heritage Assessment, there was a cottage on this land at the time it was acquired by the Church.³⁴ No information is available about this building.

The Foundation stone for the existing Rectory was laid by the Most Reverend J.C. Wright, Archbishop of Sydney on 14 July, 1923. At the time the foundation stone was laid, it was reported that the contract of £1,450 had been let to Mr. A. Banner, with most being raised by subscription and the remainder through an interest free loan from the Diocesan

³³ Transfers cited C.T. Volume 924 Folio 92. NSW LPI.

³⁴ PRA Sustainable Urbanism, *Christ Church, Dunmore Street, Bexley: Heritage Assessment*, undated, p.11.

Fund.³⁵ The building was completed the following year at a cost of £2,089-14-1.³⁶ It is first listed, as 'The Rectory,' in *Sands' Directories* in 1926.

A garage was erected for the rectory in 1936.³⁷ The existing garage was erected in 1993.

2.8 Alterations to the Church and the Construction of the Kindergarten Hall

Alterations were carried out to the Church in 1930 by Mr. James Cobben at a cost of £820. The works included the creation of a single central aisle. Extensions were made to the sanctuary and chancel, with the addition of vestries.³⁸

The Kindergarten Hall was completed five years later, in 1935. This is presumably the fibro-clad building to the rear of the Church Hall. Two years later, the Church celebrated their Golden Jubilee, by which time the buildings were almost free of debt. There had been 2,660 baptisms and 920 marriages held in the Church since its opening.³⁹

Figure 10 provides an aerial photograph over the site and the surrounding area dated 1943. Note the general lack of vegetation on the site and what may be a tennis court between the Church and the Rectory.

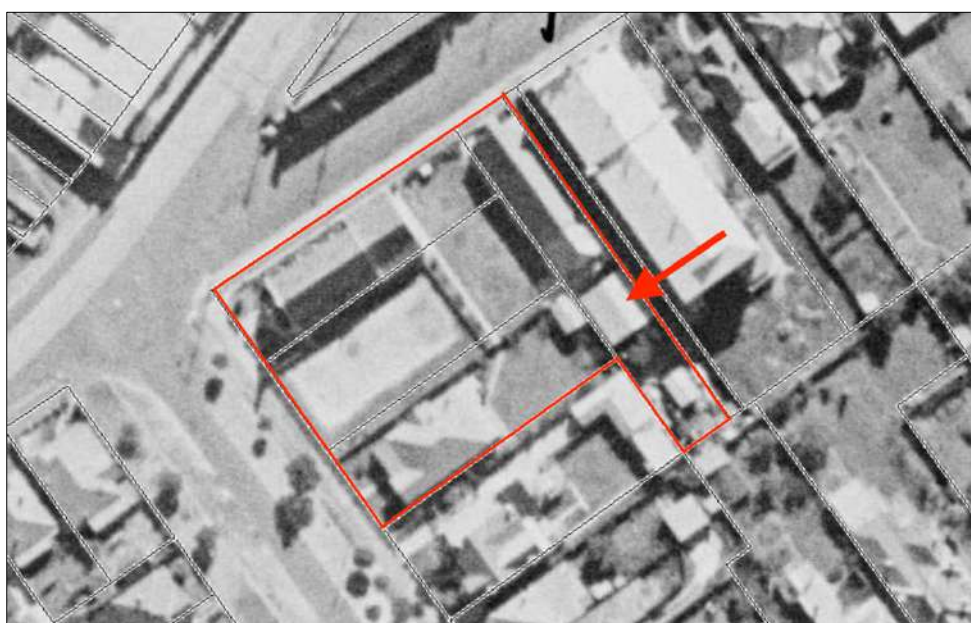


Figure 10: Aerial photograph over the site and the surrounding area in 1943. The arrow points to the Kindergarten Hall.

SIX Maps; annotation by WP Heritage and Planning.

Alterations and repairs continued to be carried out to the buildings on the site over time:

- In 1960, a new front step was added to the Church. Two years later, the brickwork of the bell tower was bound with metal crosses. New front doors were donated in 1963.
- The Rectory was repaired in the 1960s with a new roof to the rear verandah and a new kitchen, bathroom and laundry.

³⁵ 'Rectory Foundation Stone Laying,' *The St. George Call*, 20 July, 1923, p.1.

³⁶ Reported in the Parish News 23 April, 1924 cited in PRA Sustainable Urbanism, *Christ Church, Dunmore Street, Bexley: Heritage Assessment*, undated, p.12.

³⁷ PRA Sustainable Urbanism, *Christ Church, Dunmore Street, Bexley: Heritage Assessment*, undated, p.14.

³⁸ PRA Sustainable Urbanism, *Christ Church, Dunmore Street, Bexley: Heritage Assessment*, undated, pp.12-13.

³⁹ 'Church's Golden Jubilee,' *The Propeller*, 18 February, 1937, p.2.

- In 1983-4, the fireplace in the Parish Hall was demolished and repairs made to cracking in the rectory caused by inadequate foundations and long periods of dry weather.
- The chancel of the Church was re-roofed in 1990.
- In 1994, a proposal to convert the church hall for a childcare centre was approved and was carried out in 1997.
- In 2000, work was carried out to sound proof the church as part of the Federal Government's Sydney Aircraft Noise Insulation Project. The works include the removal of the slate roofing, dormers and rafters and installation of additional purlins and insulation and installation of new slate roofing and dormers to match the existing.⁴⁰

The Church Hall is not currently in use. A separate application has been made to demolish the Kindergarten Hall and the 1993 garage.

The setting of the site has changed in recent years as a number of residential flat buildings have been constructed in Dunmore Street North, including on the site to the immediate south east of the Rectory. The Odeon Cinema, visible in Figure 8, above, and built in 1924 (re-modelled in 1939), which had long dominated the Church Hall was demolished in the 1970s.

3.0 SITE ASSESSMENT

3.1 The Site

For the purposes of the following, the Albyn Street boundary is designated the northern boundary. For the following, refer to Figure 11.

The site is located on the eastern corner of Dunmore Street North and Albyn Street. The site is irregular in shape and comprises a number of lots. It has a northern boundary to Albyn Street of 63.425m; a western boundary of Dunmore Street North of 51.13m; and eastern boundary of 69.03m; and an irregular southern boundary. The site area is approximately 3,190sqm. The site is level.

There is low sandstone block wall along the northern, Albyn Street, boundary of the site. Pillars mark the pedestrian entrance just east of the Church and the driveway entrance just west of the Church Hall. Both these entrances have wrought iron gates. There is a third opening in this wall, in front of the Church Hall. The porch of the Hall lies within this opening. The wall stops short of the eastern boundary, instead returning in line with the eastern wall of the Hall to complete its shallow front courtyard. There is set of modern metal gates across the opening to the unformed driveway that runs along the western boundary.

The stone wall returns part way along the western, Dunmore Street North, boundary. A pair of wrought iron gates, set between stone pillars, lies in front of the Church. Beyond the lot containing the Church, a face brick wall of the same height as the stone wall runs along the remainder of the western boundary. A large opening, with a pair of wrought iron gates, opens into carpark that lies to the south of the Church. Two openings, with single wrought iron gates, open into the front yard of the Rectory.

There are timber paling fences along the remaining boundaries.

⁴⁰ PRA Sustainable Urbanism, *Christ Church, Dunmore Street, Bexley: Heritage Assessment*, undated, pp.14-.15.



Figure 11: Aerial photograph over the site.
SIX Maps; annotations in red by WP Heritage and Planning.

Key:

	<i>Building</i>	<i>Date of Construction</i>	<i>Notes</i>
1	Church	c.1887; extensions 1930	No works proposed as part of this application.
2	Church Hall	c.1912; extensions 1918	Alterations proposed as part of this application.
3	Former Kindergarten Hall	c.1935	Subject of a current application for demolition.
4	Rectory	c.1923	Proposed for demolition.
5	Garage	c.1993	Subject of a current application for demolition.

Table 1: The buildings on the site.

The buildings on the site are identified by Figure 11 and Table 1 above. The area between the Church and the Rectory is occupied by a gravel surfaced carpark accessed from Dunmore Street North. A concrete driveway runs into the site from Albyn Road along the western side of the Church Hall. The remainder of the site is grass, with concrete pathways. The rear yard of the Rectory is fenced off from the remainder of the site.

Vegetation on the site is as shown by Figure 11. Trees are identified by the separate Arborist report that accompanies this application. Trees include: two *Cupressocyparis leylandii* (Leyland Cypress) to the immediate west of the Church; seven *Callistemon viminalis* (Weeping Bottle Brush) close to the western boundary of the carpark between the Church and Rectory; several trees within the grounds of the Rectory, including a *Olea europaea ssp. Cuspidata* (African olive), two *Howea belmoreana* (Curly Palm), a *Callistemon viminalis* (Weeping Bottle Brush), a *Calistemon citrinus* (Crimson Bottlebrush) and a *Jacaranda mimosifolia* (Jacaranda).

Refer to Figures 12 to 22 and the photographs in the following sections.



Figure 12:
Stone wall along the Albyn Road boundary, looking west towards Dunmore Street North.



Figure 13:
Driveway gates in the Albyn Road wall, just west of the Church Hall.



Figure 14:
Memorial plaque set into the Albyn Street wall outside of the Church Hall.



Figure 15:
Unformed driveway along the eastern boundary, with gates opening onto Albyn Road.

Figure 16:
Double gates and stone wall in front of the Church. The Cypresses flank the Church.

Figure 17:
Plaque set into the Dunmore Street wall.



Figure 18:
Double gates in the brick wall along the Dunmore Street North boundary. There is a plaque set into the brick wall.



Figure 19:
Brick wall and gates
in front of the
Rectory.



Figure 20:
Carpark between the
Church and Rectory,
with access off
Dunmore Street
North. Note the short
brick wall, matching
the boundary wall
separating the front
of Church from the
carpark.



Figure 21:
Lawn between the
Church Hall and
Church, looking
south towards the
rear yard of the
Rectory.



Figure 22:
Fenced in rear yard
of the Rectory,
looking east.

3.2 The Buildings

3.2.1 Church

3.2.1.1 Exterior

The Church is only briefly described for the purposes of this statement, given that no works are proposed to it as part of this application aside from the removal of the majority of the pews.

The main section of the Church (constructed in c.1885-6) is a single storey building constructed of painted brick with a steeply pitched roof clad in slate. There are two vented gablets set into the eastern and western roof planes. The eastern and western facing gables are finished in painted cement coping.

The Church is entered through a small pitched roof porch that projects forwards of the main body of the Church at its western end. A Gothic Style arched opening, fitted with timber doors, open into the porch on the western side. The western elevation of the main section of the Church behind the porch has a stained glass window set in a circular framed with a label mould set in a Gothic Style arch, with bosses to either end, above. The elevation rises into a bell tower that is matched at the eastern end by a cross. The northern and southern elevation of the Church are divided into bays by regularly spaced brick buttresses. There is narrow Gothic arched window in each bay fitted with stained glass. Each opening has a label mould above.

The vestry at the eastern end is lower than the main body of the Church. The pitched roof breaks in pitch over the later additions (c.1930) on the northern and southern sides and is clad in concrete tile. The eastern gable has timber barge boards. The side elevations are divided into two bays by buttresses. There are two small narrow Gothic arched windows in each bay. The eastern end of the chancel has three narrow Gothic arched openings beneath the gable, each fitted with clear and coloured glass. There is a small circular window to the apex of the gable. There is a timber door set into a Gothic arch opening in the eastern elevation of the in extensions to either side.

Figures 23 to 27 illustrate the exterior of the Church.

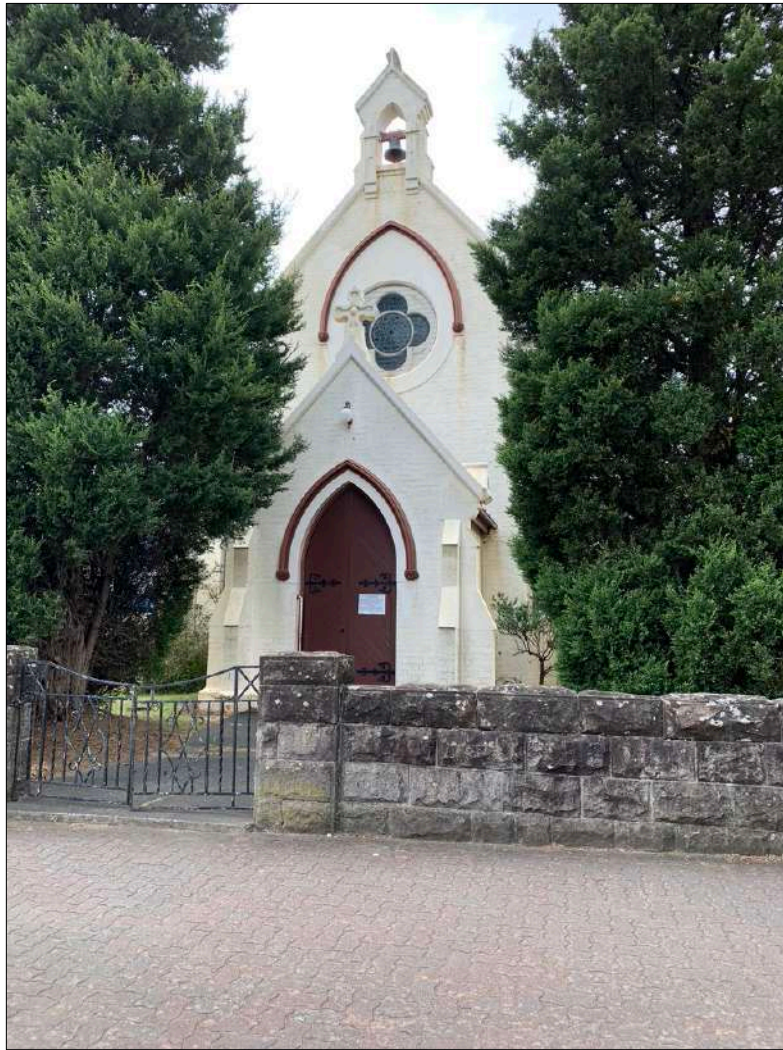


Figure 23:
Western (front)
elevation of the
Church. The 1880s
description cited
above refers to the
front window as a
ventilating rose
window.



Figure 24:
Northern
elevation of the
nave and chancel.



Figure 25:
Northern elevation
of the vestry at the
eastern end.



Figure 26:
Southern elevation
of the Church.



Figure 27:
Eastern elevation of
the vestry.

3.2.1.2 Interior

Given that no interior works are proposed, aside from the removal of the majority of the pews, a detailed description of the interior of the Church is not provided for the purposes of this statement. Refer to Figures 28 to 30 for a general view of the interior of the nave and of the pews.

Briefly, within the nave, where the pews are located, the walls are plastered and painted. The lower part of the walls have later timber lining to dado height. The underside of the roof is lined in stained diagonally laid timber. The roof trusses are exposed and supported by simple cornices. Metal tie rods provide additional support. The floor is of timber, with a carpet strip down the central aisle. The pews are free standing and are arranged in rows to either side of the aisle, facing the sanctuary at the eastern end of the Church. Several steps lead up into the sanctuary, which is partially separated from the nave by an arched opening. There are memorials mounted on the walls of the nave and an pipe organ set into an alcove.

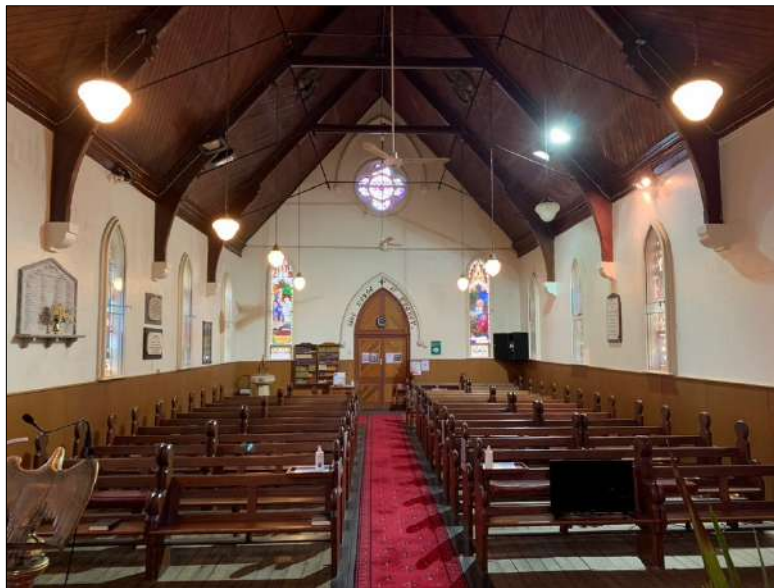


Figure 28:
Looking west
within the nave.



Figure 29: Looking east towards the Sanctuary.
Figure 30: Pulpit.



3.2.2 Church Hall

3.2.2.1 Exterior

The Church Hall is a free standing face brick building on a brick base. It comprises two sections.

Original Building (c.1903-4)

The original, northern, end of the building is constructed of a face brick and as a pitched roof clad in unglazed terracotta tile with decorative terracotta ridge capping. Two vents rise above the ridge line. The eaves are wide and timber lined with exposed timber rafters along the eastern and western elevations. The northern and southern gables have timber bargeboards. The narrow overhang of the roof at these ends is timber lined.

The front, northern elevation, has a centrally located projecting porch. The porch and front elevation are constructed of a reddish face brick. The porch has a pitched roof clad in unglazed terracotta tiles. The northern facing gable has painted timber bargeboards resting on decorative timber brackets. The eaves of the porch and its ceiling are timber lined; the floor is of coloured concrete. The opening in the northern elevation of the porch is flat arched and has decorative wrought iron gates; the openings in the sides of the porch have pointed arches. Note the use of special brick and cement capping in the photographs below. Within the porch, double timber entry doors with a segmented toplight lead into the hall. Note the arch of the glass panes in the toplight, a pattern repeated openings in this section of the building.

There is a large opening to either side of the porch within the front wall proper. Each opening is fitted with six timber framed windows arranged in two rows, three in each row. The top windows have arched panes. A sandstone band runs across the elevation above the openings. Above the porch, there is a circular opening with a segmented timber framed window. The gable above has timber bargeboards; the eaves are timber lined.

The eastern elevation is constructed of common brick and is blind.

The western elevation is divided into bays by engaged piers and is constructed of the same reddish brick as the front elevation. There is a sandstone band running across the top of each bay. Most of the bays have a large opening fitted with six timber framed windows, matching those in the front elevation. The third bay from the northern end has a pair of timber doors with toplight in place of a window set. The door has a modern metal awning above. The southern-most bay has a single narrow timber framed window that is detailed to match the other windows in this elevation.

Addition (c.1918)

The addition is located at the southern end of the original hall and is lower in height. The brickwork of the walls is similar to the colour of the original building. The hipped-gabled roof is clad in unglazed terracotta tile with decorative ridge capping.

The western elevation of the addition is divided into two bays by engaged piers. The piers have the same detailing as the original hall; each bay has a sandstone band above the openings matching the original hall. The northern-most bay has a large opening fitted with three timber framed windows with toplights above. The toplights have rectangular panes, as opposed to the arched panes of the original building. The southern-most bay has a single panel timber door with side and toplights in place of a window.

The eastern elevation of the addition is constructed in the same brick as the western elevation and is similarly detailed with engaged piers dividing the elevation into two bays and a stone band across the top of each bay. The northern-most bay is fitted with a window set matching the corresponding bay in the western elevation. The southern-most bay is

fitted with a door set corresponding to the door in the same bay in the western elevation. The door, however, is an original timber door and the side lights retain some coloured glass.

There are two small timber framed windows set high in the southern wall of the original building.

There is a small skillion attached to the southern end of the addition. The skillion is constructed of matching brick. The openings in the skillion have dark header bricks. There is a narrow timber door in the eastern and western elevations of the skillion. There are four openings in the rear, southern, elevation of two different sizes. The two smaller windows at either end are timber framed windows fitted with glass louvres. The two central windows are larger narrow timber framed windows with toplights.

Figures 31 to 44 illustrate the exterior of the Church Hall.



Figure 31: Front, northern, elevation of the Hall



Figure 32: Northern elevation of the porch. Note the cement capping to the piers, the simple decorative brickwork to the gable and arch, the decorative brackets to the bargeboards and slate threshold into the porch.



Figure 33: The western side of the porch.



Figure 34: Detail of the window on the eastern side of the northern elevation.

Figure 35: Memorial plaque on the western side of the northern elevation.



Figure 36:
Coloured concrete floor
of the porch and slate
threshold to the door.



Figure 37:
Timber lined ceiling.



Figure 38:
The western elevation of
the hall, northern end.



Figure 39:
The southern end of the western elevation.



Figure 40: Detail of a window in one of the bays. Note the use of moulded brick below the opening.



Figure 41: Door in the third bay from the northern end with original slate threshold and later metal awning. Note the toplights above.



Figure 42: Windows in the rear elevation of the rear skillion.
Figure 43: Door in the eastern elevation of the rear skillion.



Figure 44:
Looking north along the
eastern elevation of both
phases of construction.

3.2.2.2 Interior

The interior layout of the Hall is best understood with reference to Figure 42 below.

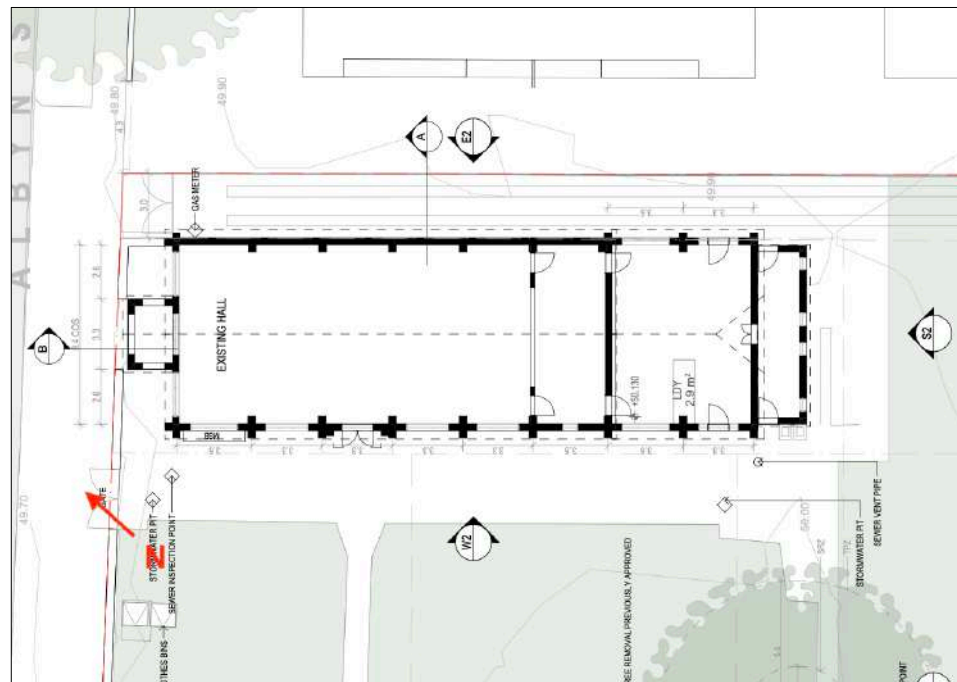


Figure 45: Interior floor plan.

Plus Architecture; north point annotation by WP Heritage and Planning.

The original section of the building is occupied by a large hall with timber lined ceiling. The timber trusses and roof ties of the roof structure are exposed. The outer walls are of painted brick. The floor is of timber. Openings have very simply profiled timber architraves. There is a raised stage with large proscenium arch at the southern end of the hall.

Stairs lead up to a high waisted timber panel door on the eastern side of the stage. The corresponding door on the western side is at floor level. The two hallways to the side of the stage continue into a small meeting hall within the rear addition. The finishes of main hall continue into this space. There is also a kitchenette and toilets within the later addition to the rear. The fit outs of the latter are of varying dates.

Figures 45 to 62 illustrate the interior of the Hall.



Figure 46: Looking north within the hall towards the front entrance, showing the roof framing and timber lining.



Figure 47: The raised stage and proscenium arch at the southern end of the hall.



Figure 48: Looking along the eastern wall, showing the deflection in the wall.



Figure 49: Front doors with coloured toplight.



Figure 50: High-waisted door to the side of the stage.



Figure 51: Detail of the stage.



Figure 52: Hallway along the eastern side of the stage. The stage is open to the hallways to either side and separated from them by a curtain.



Figure 53: Timber lined ceiling in the above area.



Figure 54: Secondary meeting hall to the rear of the stage, looking north.



Figure 55: Secondary meeting hall to the rear of the stage, looking south. Note the two small windows in the exterior wall.



**Figure 56:
Ceiling detail.**



Figure 57: Window and door in the western wall. The door leaf has been replaced.



Figure 58: Window and door in the eastern wall. The door leaf is original.



Figure 59: Door and sidelights on the eastern side of the meeting hall. The sidelights retain some coloured glass.



Figure 60: Doors and sidelights on the western side of the meeting hall. The door and glazing have been replaced.

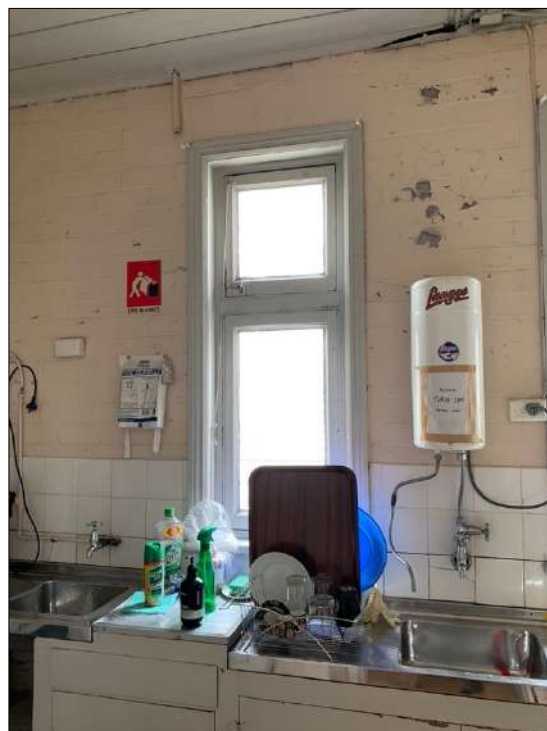


Figure 61: Kitchenette fitout. The utility rooms have timber ceilings.

Figure 62: Detail of the above room.

3.2.3 Rectory

3.2.3.1 Exterior

The Rectory is a free standing, single storey dwelling constructed of face brick on a rendered and painted masonry base. The principal roof form is hipped and gabled and clad in unglazed terracotta tile with matching ridge capping and horns. There is a simply detailed brick chimney on the northern side with terracotta chimney pot. The eaves along the northern and southern sides are timber lined with exposed rafters. The rear wing and addition lie under a metal clad skillion roof.

Principal Building Form

The principal elevation is the western elevation, addressing Dunmore Street North. This elevation is constructed of a dark brick. The elevation is asymmetrical. A gable roofed rectangular bay projects forwards on the southern side. The gable has wide timber bargeboards. The gable is finished in horizontal timber weatherboards with the upper most boards within the apex set slightly forward on narrow brackets. There is a box window supported by timber corbels in the front elevation of the bay. The window comprises three casement windows with two panes to each window. The upper panes are fitted with patterned glass. The window has a flat roof with side eaves supported by metal stays. The foundation plaque is set below the window.

The remainder of the front elevation lies under a wide verandah with brick balustrade. The main roof breaks in pitch over the verandah where it is supported by brick piers, each with a two short timber posts at the top supporting the base plate. The verandah balustrade has a rendered top. The verandah floor is finished in encaustic tiles; the ceiling is lined with f/c sheet (or equivalent) with battens. The front entrance is located beneath the verandah and close to the southern bay. It comprises a high waisted timber door with small side window. A rendered and painted lintel runs across the top of the door and window. A second door, also with rendered and painted lintel, also opens onto the verandah.

The western end of the southern elevation of the principal building form is constructed of dark brick to match the front elevation. There are three openings in this part of the elevation. The two western-most openings are box windows detailed to match the window in the front elevation. The third is a timber framed double hung sash window with one pane to each sash. It has a rendered and painted masonry sill with a rendered and painted lintel.

The remainder of the southern elevation of the principal building form is constructed of common brick. There are two openings in this part of the elevation, each with brick sill. The western-most opening is fitted with a pair of timber framed awning sash windows and is set high in the wall. The other opening is fitted with a pair of timber framed double hung windows with one pane to each sash.

The northern elevation is constructed of dark brick to match the front of the dwelling. There is a box window, matching those described above, at the western end of the elevation. Continuing east, there is a projecting rectangular gabled roofed bay, detailed to match the front bay. There are two openings to the south of this bay. The smaller of the two openings is a timber framed double hung sash window with one pane to each sash and a rendered and painted sill and header. The other is a larger opening fitted with an aluminium framed sliding window.

Rear Skillion and Addition

There is a narrow skillion on the northern side of the rear of the principal building form. The walls of this skillion are constructed of brick. The brick of the northern elevation is dark brick to match the remainder of the elevation. There is a timber framed double window with one pane to each sash and rendered and painted sill and lintel in this elevation.

The rear and southern elevation of the skillion are constructed of common brick. The rear elevation incorporates a small bay that houses a wc. There is small opening with rendered and painted sill and lintel in the rear elevation of the wc. The opening is fitted with timber louvres. A timber ledge and braced door with rendered and painted lintel opens into the wc on the southern side. A door with rendered and painted lintel opens into the main part of the skillion on the southern side.

A f/c lined addition has been constructed on the southern side of the rear elevation. This addition has aluminium framed sliding windows.

The original wing and addition share a common roof. The area between the two forms a deep porch. The back door is a timber framed, multiple-paned door.

Figures 63 to 77 illustrate the exterior of the Rectory.



Figure 63:
Front, western, elevation of
the Rectory.



Figure 64:
Foundation stone in the
front elevation, dated 14
July, 1923.



Figure 65:
Detail of the front porch, showing the
terrazzo threshold, enaustic tiling and
battened f/c ceiling.



Figure 66: Northern elevation



Figure 67: The bay in the northern elevation.



Figure 68: The eastern half of the northern elevation showing the transition from the principal building form into the rear skillion.



Figure 69:
Detail of an original window in the northern elevation.



Figure 70: The southern elevation showing the transition between the dark brick and the common brick to the rear.



Figure 71: Later addition on the southern side of the rear of the dwelling.



Figure 72: Southern elevation, western end.



Figure 73: Window in the southern elevation.



**Figure 74:
Eastern end of the southern elevation.**



Figure 75:
Rear elevation with the
original wing on the RHS
and the addition on the
LHS.



Figure 76: Southern elevation of the original rear wing.

Figure 77: The porch beneath the rear roof.

3.2.3.2 Interior

There is no available floor plan for the Rectory. The main hallway and principal rooms have timber floors, plastered and painted walls, patterned plaster ceilings and cornices and simply profiled timber skirting boards, architraves and picture rails. Doors are mostly high waisted timber panel doors. One of the rooms on the northern side has fireplace with face brick surround with modern heater and terrazzo top. It is connected to the adjoining room by a wide opening with decorative timber frieze. There is a matching frieze in the hallway.

The rooms in the rear of the dwelling, which open off a secondary hallway, are more simply finished with plain ceiling (battened) and cornices. A large opening has been cut into the kitchen, which has a modern fit out.

Figures 78 to 91 illustrate typical spaces and finishes.



Figure 78: Looking west along the main hallway towards the front door.



Figure 79: Decorative frieze at the end of the main hallway, opening into the secondary hallway, which runs east-west. The door in the distance is the back door.



Figure 80: Front room on the northern side. The door opens onto the front verandah.



Figure 81: Front room on the northern side, showing the simply profiled joinery and decorative plaster ceiling.



Figure 82: Front room on the northern side, looking east towards the opening between it and the adjoining room showing the fretwork frieze.



Figure 83: Typical high waisted panel interior door.

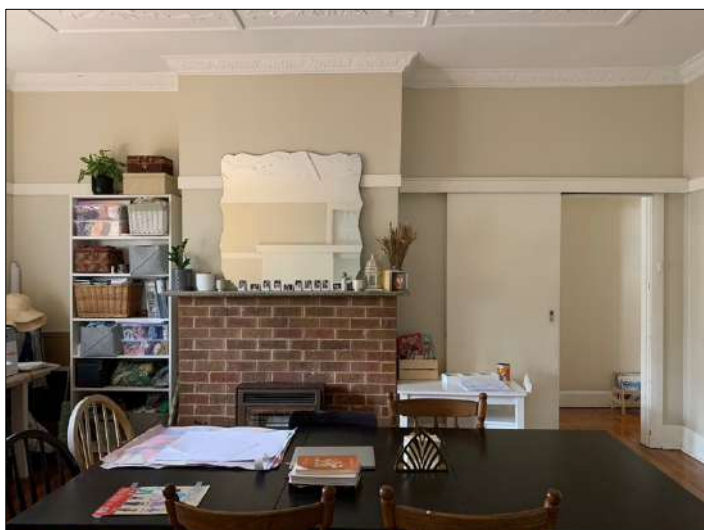


Figure 84: Fireplace in the second room on the northern side with later sliding door opening to the rear.



Figure 85: Detail of the fireplace.

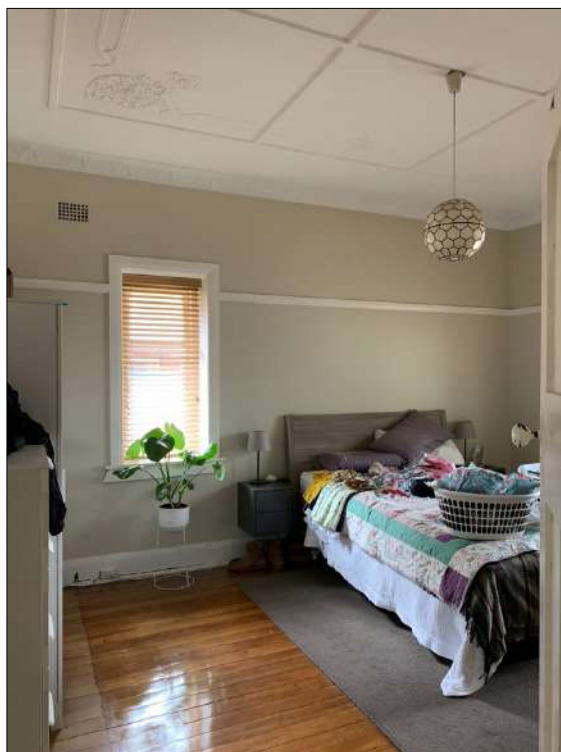


Figure 86: Room on the southern side, showing a decorative ceiling.

Figure 87: Room on the southern side within the principal building form.



Figure 88: North south running hallway to the rear, with its plain battened ceiling.

Figure 89: Bathroom on the southern side with c.1950s tiling and mixed fitout.



Figure 90: Rear room with its battened ceiling.

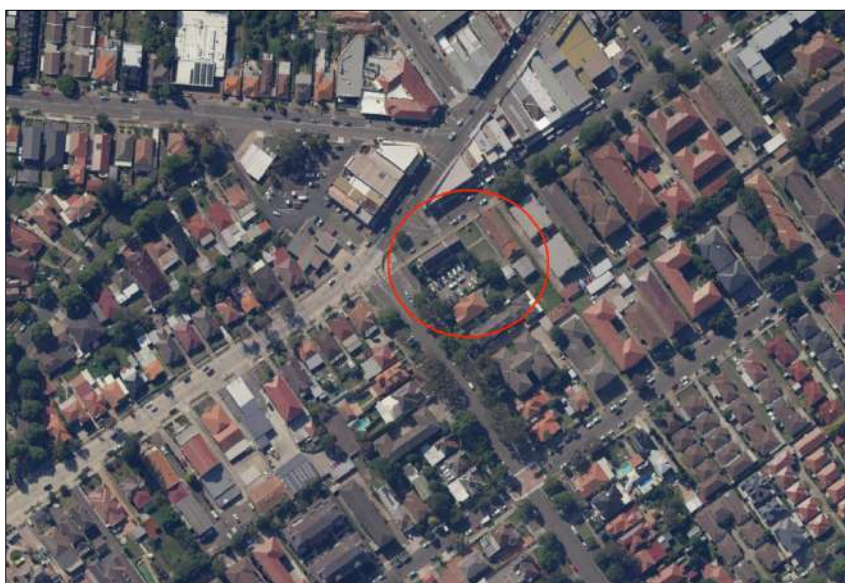


Figure 91: Kitchen with a large opening cut into the adjoining room. The ceiling has a battened ceiling.

3.3 The Surrounding Area

3.3.1 The General Area

For the following, refer to Figure 92, an aerial photograph over the site and the surrounding area.



**Figure 92:
Aerial photograph
over the site and
the surrounding
area.**

SIX Maps;
annotation by WP
Heritage and
Planning.

The site is located within a mixed use precinct. To the north lie the commercial properties fronting Forest Road. To the west, east and south lie residential areas.

The Church lies on the intersection of Forest Road/Albyn Street/Dunmore Road North.

3.3.2 Albyn Street

The site lies on the southern side of Albyn Street. Albyn Street carries a single lane of traffic in either direction and has provision for parking to both sides. There are wide concrete footpaths to either side and no street planting directly outside of the site.

The street is mixed in character. No. 26 Albyn Street to the immediate east of the site is a three storey c.1980s cream brick residential flat building with a flat roof. There are linked blocks on the site. A number of street trees outside of this site partially screened it from the public domain. It has a deeper setback from the street than the Church Hall. It is setback from its common boundary from the site to provide for a driveway. There is no screening planting between the two sites. Continuing east, are two storey residential flat buildings of varying architectural periods and styles.

Opposite the site, on the northern side of Albyn Street, lies the rear of commercial buildings fronting Forest Road. They are generally built to their side boundaries, providing a continuous strip of buildings. They are mostly two storeys in height. Forms and rear setbacks vary.

Figures 93 to 95 illustrate Albyn Street in the vicinity of the site.



Figure 93: Looking west along Albyn Street illustrating its general character. The arrow points to the site



Figure 94:
No. 26 Albyn Street
to the east of the
site. Note the side
setback.



Figure 95:
Albyn Street
opposite the site,
looking west.

3.3.3 Forest Road

Albyn Street runs into Forest Road at its western end. A small traffic island, with low level planting lies within the intersection and adjacent to the Church.

Forest Road is a main local road that carries two lanes of traffic in either direction. There are footpaths and intermittent nature strips to either side of the road and irregular street planting.

Opposite the Church, on the south western corner of Forest Road and Dunmore Street lies No. 460 Forest Road, a single storey brick and rendered masonry Federation period dwelling designed to address both street frontages. Continuing west along this side of the street are one and two storey dwelling and residential flat buildings of differing architectural styles and periods.

Opposite the Church, on the northern side of Forest Road lie one and two storey commercial buildings dating from the Late Federation period onwards and an at grade carpark.

Refer to Figure 96.



Figure 96:
Forest Road
opposite the site.

3.3.4 Dunmore Street North

Dunmore Street North is a wide street that carries traffic in either direction. There is provision for angled street parking on the western side of the street, opposite the site. There are narrow footpaths and wide nature strips to either side. The street trees at this end of the street are heritage listed. The street is residential in character. There are detached single storey dwellings and low rise residential flat buildings.

To the south of the site, No. 1 Dunmore Street North is a group of two storey c.1990s townhouses. They have a similar setback from Dunmore Street North as the Rectory and lie close to its common boundary with the site. No. 3 Dunmore Street is a block of c.1980s residential flats. Continuing west lie single storey Federation period dwellings demonstrating varying degrees of integrity.

Opposite the site, on the opposite side of Dunmore Street North lie single storey Federation period dwelling demonstrating varying degrees of integrity.

Refer to Figures 97 to 101.



Figure 97:
Townhouses adjoining the
site at No. 1 Dunmore
Street North.



Figure 98:
No. 3 Dunmore Street.



Figure 99:
Dunmore Street North,
opposite the site.

3.3.5 Other

The southern boundary also adjoins the rear boundary of No. 22 Monomeeth Street, Bexley, a two and three storey residential flat building.

4.0 ASSESSMENT OF SIGNIFICANCE

4.1 Summary of Statutory Heritage Listings for the Site

Christ Church Bexley is listed as a heritage item by Schedule 5 Part of the *LEP 2021*. See below.

The site:

- Is not listed as a heritage item by the State Heritage Register under the *NSW Heritage Act 1977*.
- Is not located within a Conservation Area a Conservation Area listed by the *LEP 2021*.

There are discrepancies in the heritage listing under Schedule 5 Part 1 of the *Bayside Local Environmental Plan 2021 (LEP 2021)*. The written schedule states:

Bexley	Christ Church Anglican Church and hall	1A, 1B and 1C Dunmore Street North	Lots 19 and 20, Section 2, DP 1036; Part Lot 18, Section 2, DP 1680	Local	I114
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The *LEP 2021* Heritage Plan identifies the boundaries as follows: Lots 19 and 20 Section 2 D.P. 1036 and all of Lot 18 Section 2 D.P. 1680. These lots are coloured brown in the plan, Figure 100, below. In this plan, heritage items are coloured brown and numbered.



Figure 100: Detail from the Bayside Council Heritage Plan.
LEP 2011; annotation by WP Heritage and Planning.

The Church Hall is excluded from the written definition of the listing boundaries (it is located on Lot 21 Section 2 D.P. 1680) and from the Heritage Plan, Figure 96, above. It is,

however, included in the name of the listing. Council have advised that they consider the Church Hall to be part of the heritage listing.

The Rectory, on the other hand, is not included in the name of the listing but is included in the area coloured by the plan. It is assumed that the part listing of Lot 18 Section 2 D.P. 1680 in the written description of the listing boundary includes this building. Council have advised that they consider this building to be part of the heritage listing.

4.2 Heritage Items in the Vicinity of the Site

For the following, 'in the vicinity' is determined with reference to physical proximity, the nature of the proposed works and existing and potential view corridors.

4.2.1 NSW Heritage Act 1977

There are no heritage items or conservation areas listed by the State Heritage Register, under the *NSW Heritage Act 1977*, within the immediate vicinity of the site.

4.2.2 Bayside Local Environmental Plan 2021

For the following, refer to Figure 96 above, which shows the location of heritage items and conservation areas listed by Schedule 5 Parts 1 and 2 of the *LEP 2021* with respect to the site. In this plan, heritage item are coloured brown and numbered. Conservation Areas are hatched in red and numbered.

The site lies adjacent to the following heritage item listed by Schedule 5 Part 1 of the *LEP 2021*:

- *Street Plantings, Dunmore Street North (I113).*

There is no heritage listing sheet for the street trees on the State Heritage Inventory. They are likely to have local historic and aesthetic significance. Refer to Figure 95 above.

- Other

It is noted that there is a group of heritage items at Nos. 12-20 Dunmore Street North (I115-I119). These items are free standing single storey Federation period and style dwellings that have local historic and aesthetic significance. It is noted that there are oblique angled views from outside of these items towards the subject site.

Refer to Figures 101 and 102.



Figure 101:
The heritage
items at No. 12-
20 Dunmore
Street North.
Google Maps.



Figure 102:
View from No. 12 Dunmore Street, the closest of this group of items to the site, towards the subject site, which is marked by the arrow.
Google Maps.

4.3 View Corridors

4.3.1 View Corridors Towards the Site

There are view corridors towards the site from Albyn Street, Dunmore Street and Forest Road.

Albyn Street

The northern elevation of the Church is highly visible from Albyn Street. This view corridor is significant, but is of secondary significance when compared to the views towards the front of the Church.

The most significant towards the Church Hall are obtained from directly outside of it on Albyn Street and are of the front elevation.

There are distant views towards the northern elevation of the Rectory when standing directly outside of the gap between the Church and the Church Hall. These views are partially screened by the paling fence that defines the rear yard of the Rectory are not significant.

The site, as a whole is visible on approach along Albyn Street from the east at a wide angle and close to the site. The views are oblique angled views of the north eastern corner of the Church Hall, the eastern elevation of the Church and the northern elevation of the Church.

From the west, the northern side of the Church is visible, as well as the north eastern corner of the Church Hall.

Refer to Figures 103 to 105 below and to the photographs in the sections above.



Figure 103:
View towards
the site on
approach from
the east along
Albyn Street.
There are
glimpses of the
Church. The
Church Hall is
largely
concealed by
the street trees
at this distance.



Figure 104:
View towards
the site on
approach from
the east along
Albyn Street
and closer to
the site than
the above. The
Church Hall
and Church are
visible.



Figure 105:
View towards
the site on
approach from
the west along
Albyn Street.
The long
western
elevation of the
Church Hall is
visible because
of the
seperation of
the Church and
Hall.

Dunmore Street North

The principal view corridors towards the Church are obtained from Dunmore Street North. The front elevation is partially obscured by cypress pines.

There are distant views towards part of the western elevation of the Church Hall from Dunmore Street North across the carpark. These are of minor significance compared to the views of the Hall from Albyn Street.

The principal view corridors towards the Rectory are obtained from directly outside of it on Dunmore Street North.

View corridors towards the site on approach along Dunmore Street North are blocked until close by the site and at a wide angle by the residential flat buildings that lie to the south and by the street trees.

Refer to Figures 106 to 108.



Figure 106:
The Church from
directly opposite it
on Dunmore Street
North.



Figure 107:
View towards
the site,
marked by the
arrow, on
approach along
Dunmore
Street North
from the south.
The red roof of
the Rectory is
just visible.
The Church is
concealed by
the heritage
listed street
trees.



Figure 108:
View towards
the site,
marked by the
arrow, on
approach along
Dunmore
Street North
from the south,
when closer
than the above
image. The red
roof of the
Rectory is
visible. The
Church is
largely
concealed by
the heritage
listed street
trees

Forest Road

There are significant views towards the site on approach from the west along Forest Road. The Church is visible and there are glimpses of the northern end of the Church Hall.

The northern elevation of the Church is and part of the Church Hall are visible from Forest Road, opposite the site.

The site is concealed on approach along Forest Road from the east.

Refer to Figures 109 to 111.



Figure 109:
View towards the
site on approach
along Challis
Avenue from the
west. All but the
vegetation on the
site is concealed
from this
distance and
angle.



Figure 110:
View towards the
site from
opposite it on
Forest Road.



Figure 111:
The Church from
opposite the site
on Forest Road
and slightly to
the east.

4.3.2 View Corridors Out of the Site

There are no significant view corridors out of the site from the Church or Church Hall. Neither building was designed to provide view corridors over the surrounding area.

The principal view corridors out of the Rectory are over Dunmore Street North.

4.3.3 View Corridors within the Site

The western elevation of the Church Hall is highly visible within the site, hence its articulation when compared to the eastern elevation. Despite this, it is a secondary elevation.

The side and rear elevations of the Church are also visible within the site. These are secondary elevations that nevertheless identify the Church as a nineteenth century church building. Views towards the front elevation of the Church from within the site are limited.

There are views towards the front elevation of the Rectory from the front garden. Views towards the side elevations are partially screened by fences/adjoining buildings.

4.4 Integrity

4.4.1 The Site

The site boundaries date from the Church's acquisition of the Rectory site in 1912.

The stone wall along the Albyn Street boundary and part of the Dunmore Street North boundary is later in date than the Church. Early twentieth century photographs show that there was a timber picket fence in front of the Church and a high timber paling fence along the Albyn Street boundary. When the wall was constructed is not known. The earliest dated plaque on the wall is 1937. The gates date from the Interwar period or later.

When the brick wall was constructed along the Dunmore Street boundary is unknown. They may date from the Interwar period when the Rectory was constructed.

Vegetation on the site has changed over time. Historic aerial photographs indicate that the pines in front of the Church are relatively recently plantings. They are not visible in historic photographs until the early 2000s.⁴¹

The carpark entered off Dunmore Street North between the Church and Rectory was once tennis courts.

4.4.2 The Buildings

The Church

The integrity of the Church is only briefly considered given that no works are proposed to it as part of this application. The following is noted:

- The original Church was altered in 1930. The works included the replacement of the single central aisle with a single central aisle. Extensions were made to the sanctuary and chancel.
- At some point in time, the original face brickwork was painted.
- The slate roof over the vestry has been replaced with concrete tiles.
- The stained glass windows date from various periods.

The Church Hall

The Church Hall as it stands today was constructed in two phases. The northern end dates from 1904. This end of the building is substantially intact externally and internally. The southern end was added in 1918. There have been minor alterations to this end of the building, i.e. the replacement of an exterior door and the fit out of the kitchen and bathrooms. It is otherwise substantially intact.

It is noted that the building requires structural repair. The eastern wall, in particular, is leaning outwards.

The Rectory

The Rectory demonstrates a moderate-high level of intactness. The following is noted:

- There is non-original window in the northern elevation.
- There are two non-original windows in the southern elevation.
- The rear skillion has been altered and changes made to this part of the dwelling.

⁴¹ With reference to photographs cited: <https://portal.spatial.nsw.gov.au/>.

4.5 Comparative Analysis

There are 16 churches or church groups listed as items of local heritage significance by Schedule 5 Part 1 of the *Bayside LEP 2021*. A number of these are for groups of church buildings.

The following focuses on the Church Hall and Rectory, being the buildings to which works are proposed.

Federation period and style church buildings are well represented in the Bayside area-listed or otherwise- and surrounding suburbs, be they churches or church halls. For example, the former St. Michael Church (now Hall), Haig Avenue, Daceyville (listed by Schedule 5 Part 1 of the *LEP 2021*) and the Carlton-Kogarah Baptist Church, Willison Road, Carlton (not listed). The Church Hall is a good, representative example of Federation period ecclesiastical architecture.

The Rectory is a representative Californian Style bungalow. There are many examples within the Bayside area. What are considered by Council to be the best examples are listed as heritage items by the *Bayside LEP 2021*, including Nos. 7 and 21 Fairview Street and No. 27 27 Segenhoe Street, Arncliffe. There is nothing rare or outstanding in the architectural merit of the Rectory.

4.6 Significance

4.6.1 Assessment Under NSW Heritage Criteria

Heritage NSW have developed a series of criteria to assess in the assessment of significance, as follows. The SHI listing sheet for the site does not include an assessment under these criteria.

4.6.1.1 Criterion (a)

An item is important in the course, or pattern, of New South Wales' cultural or natural history (or the cultural or natural history of the local area)

Guidelines for Inclusion	Guidelines for Exclusion
<ul style="list-style-type: none">shows evidence of a significant human activity	<ul style="list-style-type: none">has incidental or unsubstantiated connections with historically important activities or processes
<ul style="list-style-type: none">is associated with a significant activity or historical phase	<ul style="list-style-type: none">provides evidence of activities or processes that are of dubious historical importance
<ul style="list-style-type: none">maintains or shows continuity of a historical process or activity	<ul style="list-style-type: none">has been altered so that it can no longer provide evidence of a particular association

Christ Church, Bexley, has local significance under this criterion as part of late nineteenth and early twentieth century pattern of development that followed the subdivision and development of the surrounding area and the growth in services to support a growing population.

4.6.1.2 Criterion (b)

An item has strong or special association with the life or works of a person, or group of persons, of importance in New South Wales' cultural or natural history (or the cultural or natural history of the local area)

Guidelines for Inclusion	Guidelines for Exclusion
<ul style="list-style-type: none">• shows evidence of a significant human occupation	<ul style="list-style-type: none">• has incidental or unsubstantiated connections with historically important people or events
<ul style="list-style-type: none">• is associated with a significant event, person, or group of persons	<ul style="list-style-type: none">• provides evidence of people or events that are of dubious historical importance
<ul style="list-style-type: none">• maintains or shows continuity of a historical process or activity	<ul style="list-style-type: none">• has been altered so that it can no longer provide evidence of a particular association

Christ Church, Bexley has local significance for its long and unbroken association with the local Anglican community, including with notable locals, such as Henry Kinsela, who were involved in its foundation. This association is manifest in fabric on the site, notably in memorials, including plaques on the boundary walls and in the dedication of stained glass windows.

4.6.1.3 Criterion (c)

An item is important in demonstrating aesthetic characteristics and/or a high degree of technical achievement in New South Wales (or the local area)

Guidelines for Inclusion	Guidelines for Exclusion
<ul style="list-style-type: none">• shows or is associated with, creative or technical innovation or achievement	<ul style="list-style-type: none">• is not a major work by an important designer or artist
<ul style="list-style-type: none">• is the inspiration for creative or technical innovation or achievement	<ul style="list-style-type: none">• has lost its design or technical integrity
<ul style="list-style-type: none">• is aesthetically distinctive or has landmark qualities	<ul style="list-style-type: none">• its positive visual or sensory appeal or landmark and scenic qualities have been more than temporarily degraded
<ul style="list-style-type: none">• exemplifies a particular taste, style or technology	<ul style="list-style-type: none">• has only a loose association with a creative or technical achievement

The Church building at Christ Church, Bexley has local significance under this criterion as a good example of Late Victorian Gothic Style Church. Although rendered and extended, it is clearly identifiable as being a building in this style. The building contains a number of fine individual elements, including the Lyon and Cottier stained glass windows. Although the streetscape is mixed in character, the Church is a prominent element in the Forest Road streetscape, particularly on approach from the north west.

The Church Hall has local significance under this criterion as a substantially intact representative example of a Federation period and style church hall.

The Rectory has minor significance as an example of a Californian Style bungalow. It does not, however, meet the threshold for listing as an individual dwelling under this criterion because there is nothing that sets it apart from the many other examples of this style that survive within the local government area.

4.6.1.4 Criterion (d)

An item has strong or special association with a particular community or cultural group in New South Wales (or the local area) for social, cultural or spiritual reasons

Guidelines for Inclusion	Guidelines for Exclusion
<ul style="list-style-type: none">is important for its association with an identifiable group	<ul style="list-style-type: none">is only important to the community for amenity reasons
<ul style="list-style-type: none">is important to a community's sense of place	<ul style="list-style-type: none">is retained only in preference to a proposed alternative

Christ Church, Bexley has significance under this criterion for its congregation. Significance lies not only in the Church and Church Hall, which are the buildings on the site most associated with congregational activities, but also in the use of the site for worship.

4.6.1.5 Criterion (e)

An item has potential to yield information that will contribute to an understanding of New South Wales' cultural or natural history (or the cultural or natural history of the local area)

Guidelines for Inclusion	Guidelines for Exclusion
<ul style="list-style-type: none">has the potential to yield new or further substantial scientific and/or archaeological information	<ul style="list-style-type: none">has little archaeological or research potential
<ul style="list-style-type: none">is an important benchmark or reference site or type	<ul style="list-style-type: none">only contains information that is readily available from other resources of archaeological sites
<ul style="list-style-type: none">provides evidence of past human cultures that is unavailable elsewhere	<ul style="list-style-type: none">the knowledge gained would be irrelevant to research on science, human history of culture

The State Heritage Inventory listing sheet for the site suggests that it may have significance under this criterion as the potential location for burials. No information has been found through the research carried out for this report that there were any burials on the site. The Church have no record of any such burials and there are no references in newspapers.

4.6.1.6 Criterion (f)

An item possesses uncommon, rare or endangered aspects of New South Wales' cultural or natural history (of the cultural or natural history of the local area)

Guidelines for Inclusion	Guidelines for Exclusion
<ul style="list-style-type: none">provides evidence of a defunct custom, way of life or process	<ul style="list-style-type: none">is not rare
<ul style="list-style-type: none">demonstrate a process, custom or other human activity that is in danger of being lost	<ul style="list-style-type: none">is numerous but under threat
<ul style="list-style-type: none">shown unusually accurate evidence of a significant human activity	
<ul style="list-style-type: none">is the only example of its type	

Guidelines for Inclusion	Guidelines for Exclusion
<ul style="list-style-type: none"> demonstrate designs or techniques of exceptional interest 	
<ul style="list-style-type: none"> shown rare evidence of a significant human activity important to a community 	

Christ Church, Bexley is not significant under this criterion. None of the buildings are rare examples of their types; groups of church buildings are not rare.

4.6.1.7 Criterion (g)

An item is important in demonstrating the principal characteristics of a class of New South Wales (or a class of the local areas):

- Cultural or natural places; or**
- Cultural or natural environments**

Guidelines for Inclusion	Guidelines for Exclusion
<ul style="list-style-type: none"> is a fine example of its type 	<ul style="list-style-type: none"> is a poor example of its type
<ul style="list-style-type: none"> has the potential characteristics of an important class or group of items 	<ul style="list-style-type: none"> does not include or has lost the range of characteristics of a type
<ul style="list-style-type: none"> has attributes typical of a particular way of life, philosophy, custom, significant process, design, technique of activity 	<ul style="list-style-type: none"> does not represent well the characteristics that make up a significant variation of type
<ul style="list-style-type: none"> is a significant variation to a class of items 	
<ul style="list-style-type: none"> is part of a group which collectively illustrates a representative type 	
<ul style="list-style-type: none"> is outstanding because of its setting, condition or size 	
<ul style="list-style-type: none"> is outstanding because of its integrity or the esteem in which it is held 	

Christ Church, Bexley is representative of a group of religious buildings within the Bayside area. The Church is a good example of a Victorian Gothic Church and the Hall is a good example of a Federation period Church Hall. The Rectory is not a particularly fine or exceptional example of its type.

4.6.2 Statements of Significance

The State Heritage Inventory listing sheet for the site provides the following statement of significance for it:

‘Established at the time of the coming of the railway the church provides evidence of the impact of the subsequent population growth in late 19th century Bexley. The church and hall are historically significant as being associated with the establishment of the Anglican church in Bexley. The church is associated with local identity, philanthropist and undertaker, Henry Kinsela. A prominent

grouping of church buildings in Forest Road representative of the Anglican religion in Rockdale.⁴²

Christ Church, Bexley, has local historic and social significance as a place of Anglican worship since the late 1880s. Its primary significance lies not in the buildings on the site, but in its continuous use by the Congregation since this time. The construction of the Church in c.1887 is symbolic of the growth in the area at this time as the railway was constructed, land subdivided and the population grew. The Church has aesthetic significance as a good example of a Late Victorian Gothic Style church that has some fine features, such as stained glass windows by Lyon and Cottier. Its corner location gives it prominence in what is a mixed streetscape. The construction of the Church Hall in c.1912 and Rectory in the early 1920s reflects the ongoing growth of the congregation. The Hall is a good and substantially intact example of a Federation Style church hall.

4.7 Relative Significance

Not all parts of the site are of equal significance. The following table ranks the relative significance of the primary elements on the site. The second column includes the rankings from the only other known heritage assessment of the site.

Building	PRA Sus. Urb. Rank- ing	WP Heri- tage Ranking	Comment
Church	1	1	The oldest building on the site and, traditionally, its spiritual heart. It is the most significant building on the site. The building has aesthetic significance in its own right and prominence in the streetscape because of its corner location.
Church Hall	2	2	A building that has served ancillary functions and is thus less significant than the Church. It has aesthetic significance in its own right but addresses a streetscape with little aesthetic significance. It lacks the landmark qualities of the Church and requires structural repair. The building has not been used for over 17 years because of structural defects and the consequent inability to obtain insurance.
Former Kindergarten Hall	3	3	A building that has served ancillary functions. Whilst part of the history of the site it has less significance than the Church and Hall, which were the main focus of worship and activities on the site. It is not readily visible from the public domain and is in a poor state of repair. It is clad in asbestos cement sheeting. The building not been used in over 20 years because of its condition and the potential exposure to hazardous materials.
Rectory	3	3	A building that has served ancillary functions. Whilst part of the history of the site, it is a standard interwar period bungalow, of which there are many in the area. It has no particular architectural merit. It is not central to understanding the significance of the site as a place of worship. It has been altered and requires repair. It is not located within an intact streetscape. Its principal

⁴² *Christ Church Anglican Church and Hall*, Nos.1A, 1B and 1C Dunmore Street North, Bexley. State Heritage Inventory, Heritage Item ID 2330201.

Building	PRA Sus. Urb. Rank- ing	WP Heri- tage Ranking	Comment
			significance arises out its historic associations with the Church.
Garage	4	4	Modern building of no significance.
Stone Wall	1	2	The wall has been part of the immediate setting of the Church and Church Hall for over 80 years. It is lesser historic and/or aesthetic significance than the Church and Church Hall, hence the reduced ranking from the earlier assessment.

Note: The former kindergarten and garage are the subject of a CDC application for demolition.

5.0 SCOPE OF WORKS

The following should be read in conjunction with the plans prepared by Plus Architecture (architecture) and Umbaco Landscape Architects (landscape) that accompany this application.

5.1 Proposed Site Works

It is proposed to remove the following site elements:

- The brick wall and associated gates along the Dunmore Street North boundary. Note: any memorial plaques will be salvaged and relocated within the site.
- The internal fences.
- The clothes bin near Albyn Street.
- The trees marked for removal on the accompanying plans. Note: there is existing approval for the removal of a number of these trees.

The following new site works are proposed:

- Widen the existing cross over into the car park off Dunmore Street North.
- Resurface the existing carpark in black asphalt.
- Fence the existing carpark.
- Move the existing AC units northwards from their current location. Note: still free standing from the Church).
- Install a rack for bicycle parking on the southern side of the Church.
- Lay new paving in the areas marked on the accompanying plans, including provision of ramped access from Albyn Street.
- Construct a low retaining wall to provide level play space to the west of the Church Hall for the proposed Childcare Centre.
- Install a new fences in the locations marked on the plans.
- Install new sandpit, informal seating etc. for the child care centre to the west of the Church Hall.
- Carry out new planting in the areas marked on the accompanying plans, including new hedges along the Albyn Street frontage, low lying shrubs to the Dunmore Street North frontage and trees in the locations marked.

5.2 Proposed New Building Works

5.2.1 Proposed Works to the Existing Church

- Remove the existing pews, retaining four within the church. The removed pews will be offered to a reputable salvage yard/antique dealer/parishioners.

5.2.2 Proposed Works to the Existing Church Hall

The following works are proposed to the Church Hall:

- Carry out the required structural works to stabilise the eastern wall.
- Construct a single storey addition on the western side of the building at its southern end. The addition will be constructed of brick and have metal framed doors and windows.
- Remove three window sets in the western elevation and replace with doors. The doors will match the width of the existing windows. The doors will be timber or metal framed and have toplights matching the retained windows on this side.
- Create four new openings in the eastern elevation. Install the three removed windows from the western elevation in three of these openings (if possible) and install a new timber framed window to match the existing.
- Replace the glazing with new clear glazing.
- Install an awning along the western side of the Church Hall. The awning frame work will be constructed of metal and will lightly touch the building. The awning roof will be metal sheet.
- Remove the internal walls marked on the accompanying plans. The proscenium arch of the stage will be retained.
- Remove the stage, retaining the proscenium arch.
- Install new light weight internal walls to create separate rooms, including wcs and a kitchen. The activity room walls will be full height. The supporting spaces, e.g. bathrooms, bottle prep areas) will be pods that reach to eaves height.
- Install new wcs/kitchen.

5.2.3 Proposed Works to the Existing Rectory

It is proposed to demolish the Rectory.

5.2.4 Proposed New Church Hall

- Construct a new free standing building on the site of the Rectory. The new building will be two storeys in height and will include a basement carpark accessed from Dunmore Street North. The principal elevation is the western elevation, addressing Dunmore Street North.

The new finishes will include face brick, light weight metal panelling (several types, profiles and colours) and clear glazing.

6.0 EFFECT OF WORKS

The following is written with an understanding of the relevant heritage objectives and controls provided by the *Bayside LEP 201* and the *Rockdale Development Control Plan 2011*, in particular those controls in Section 4.1.2 of the *DCP 2011*. The questions raised by the NSW Heritage Council publication Statements of Heritage Impact have also been referred to.

6.1 Effect of Works on the Site

6.1.1 Why are the Works Required?

The first question that must be answered when works are proposed to a heritage item is:

Why are the works required and have all options been considered?

The proposed works are required in order that the site remain in use by its congregation. Whilst the Church and Church Hall have architectural significance, the most important aspect of this site's significance lies in its continued use by its congregation over 140 years. Maintaining this association is central to the significance of this site. There have been considerable changes to the way in which worship is conducted since the original Church was constructed on this site:

- Worship is now less formal. The proposed new hall will become the new focal point for worship on the site.
- Given the above, the existing Church needs to become more flexible in its use. Retaining the pews 'in situ' limits adaptive re-use.
- The Rectory is no longer required to house the Minister and his/her family on site. The Rectory has been identified as being of lesser significance than the existing Church and Hall in terms of its contribution to the architectural, historical and social significance of the site. The site of the Rectory has been identified as the best location for a new church/hall on the site, hence the proposal to demolish this building.
- The existing Church Hall has not been used for some time because it requires structural repair. Finding an appropriate new use for this building will provide the necessary funding for these works and incentive for its ongoing maintenance and conservation. A childcare centre is an appropriate use. Numerous church halls have been adapted for use as childcare centres.

6.1.2 Impact of the Proposed Works to Individual Buildings

6.1.2.1 The Church

Impact on the Church

The only works proposed to the existing Church is the removal of the majority of the pews. Their proposed removal will support the primary significance of the site- its unbroken association with its congregation over 140 years. As set out above, the way in which congregations use their churches has changed considerably since this building was erected in the late nineteenth century, hence the construction of a new Hall on the site, which will become the primary place of worship. The congregation seek to continue to use the former Church building in a more flexible manner.

Traditional pews have been removed from churches around the world allowing these buildings to be used in a manner that reflects new forms of worship and/or to allow them to be used for other uses. This is preferable to church buildings becoming redundant and losing all association with the congregations they were built to serve because they are no longer 'fit for purpose.' The association of this building with its congregation for over 140 years lies the core of its significance. Removing the pews allows the existing Church to continue to serve its congregation in ways other than being used solely for worship.

The removal of the pews will, however, impact on the architectural integrity of the building because the pews date from when the Church was opened. The impact can be mitigated through archival recording of the pews 'in situ' prior to their removal and by the retention of a number of pews within the building. The pews can be removed without damaging the fabric of the building and will be offered to a reputable salvage yard/antique dealer or to the congregation. All other key elements of the original furnishings, including the pulpit and font, will be retained within the Church.

Impact on the Site as a Whole

The proposed works to the Church will have no impact on the fabric, view corridors or setting of other buildings on the site because they are internal only.

6.1.2.2 The Church Hall

Impact on the Church Hall

It is critical that a new use be found for this building, which has not been in use for some time because of its condition. The proposed new use will provide the necessary funds for the structural works required, for restoration works and for its ongoing maintenance.

The impact of each element of the proposed works to the Church Hall is assessed below.

Structural Works

The extent of the structural works required to the building has not yet been determined. A structural engineer will be involved in the detailed planning phases.

Construct a single storey addition on the western side of the building at its southern end. The addition will be constructed of brick and have metal framed doors and windows.

Section 4.1.2 Control 6 of the *DCP2011* requires that additions are located to the rear of buildings. Part of the proposed addition lies to the rear; the majority, however, lies on the western side of the Hall. The proposed addition will, however, have a minimal and acceptable impact on the Church Hall for the following reasons:

- The proposed addition, whilst partially located on the western side of the hall, is located well to the rear. It will not block existing significant view corridors.
- The proposed addition is considerably smaller in footprint than the Church Hall.
- The proposed addition is single storey in height and involves only minor alterations to the corner of the rear of the roof of the later addition to the hall. The overall character of roofs of the existing hall are retained.
- The proposed addition has a simple roof form and architectural expression. It will read as being secondary to the existing hall and distinguishable from it.
- The proposed addition will be partially screened from Albyn Street by its depth into the site and the proposed new fencing and landscaping. It will be largely screened from Dunmore Street North by its depth into the site, by the proposed new landscaping and the proposed new Hall.

Given the above, the proposed new addition will not dominate the building, have undue prominence in significant view corridors or negate the ability to understand the original form of architectural character of the building.

Remove three window sets in the western elevation and replace with doors. The doors will match the width of the existing windows. The doors will be timber or metal framed and have toplights matching the retained windows on this side.

Removing the windows is required to allow the building to be adaptively reused. The impact is acceptable because:

- While a long elevation, this is a secondary elevation. The Albyn Street elevation is the primary elevation. Providing improved access through this elevation allows the Albyn Street elevation to remain unaltered.
- The proposed new doors maintain the width of the existing windows and replicate the pattern of toplights. The rhythm of openings in the elevation is retained.
- The proposed doors will complement the proportions of the retained windows but will be distinguishable as new work.

- The windows will be salvaged and reused in the eastern elevation of the hall if at all possible, retaining the fabric on site.

Create four new openings in the eastern elevation. Install the three removed windows from the western elevation in three of these openings and install a new timber framed window to match the existing.

This work will greatly improve amenity and will have an acceptable impact for the following reasons:

- This elevation is a secondary elevation that is only visible from the public domain when close to the site because of the proximity, massing and scale of the adjoining building.
- The proposed pattern of openings compliments the pattern of openings in the western elevation. This pattern and this size of openings are not unexpected elements in a hall of this type and age.
- Adding windows to this elevation will not give this elevation undue prominence in the hierarchy of the elevations of this building because of its limited visibility and its construction of common brick. The Albyn Street and western elevations will remain the more dominant of the four elevations.
- The new openings provide the opportunity to re-use the removed windows from the western elevation, retaining this fabric on site.

Replace the glazing with new clear glazing.

The glazing in the windows around the hall is inconsistent. Replacing the glazing with new clear glazing facilitates re-use. The impact is acceptable because it is the pattern of openings and window frames that are the primary significance. The types of glazing are not a defining characteristic of this building.

Install an awning along the western side of the Church Hall. The awning frame work will be constructed of metal and will lightly touch the building. The awning roof will be metal sheet.

The awning will assist in the adaptative re-use of the building and will have an acceptable impact for the following reasons:

- The awning will lightly touch the building, if at all, making it reversible with minimal damage to the fabric.
- The awning will sit below the eaves line of the building.
- The awning is simple in design and will clearly be distinguishable as a modern element.
- The awning will not block view corridors towards the most significant elevation, being the Albyn Street elevation.
- The original windows will still be visible beneath the awning in view corridors that include this elevation.

Remove the internal walls marked on the accompanying plans. The proscenium arch of the stage will be retained;

Remove the stage, retaining the proscenium arch;

Install new light weight internal walls to create separate rooms, including wcs and a kitchen. The activity room walls will be full height. The supporting spaces, e.g. bathrooms, bottle prep areas) will be pods that reach to eaves height; and

Install new wcs/kitchen.

The proposed internal works will facilitate adaptive re-use. The impact is acceptable for the following reasons:

- The removal of the stage makes the space more adaptable. The impact is mitigated by the retention of the proscenium arch, which will be infilled in a manner that retains the understanding of the arch. This will mark the former location of the stage. The doors to either side can be salvaged and re-used.
- New internal walls will be of light weight construction that can be removed at a later date.
- None of the proposed internal walls abut windows.
- The proposed new walls are a combination of full height and part height walls, maintaining some spaces where the full height of the original space can be appreciated. The ceiling is retained.

Impact on the Site as a Whole

The proposed works to the Church Hall will have no impact on the fabric of other buildings on the site and will not involve the removal of any significant fabric.

The proposed works to the Church Hall will not block significant view corridors towards the Church from Albyn Street or Dunmore Street North. The proposed addition is set well into the site and is well removed from the Church and its eastern elevation.

The proposed works to the Church Hall will not result in a structure that dominates the immediate setting of the Church. Those elements that tie the two structures together- the high pitched roof and Gothic Style elements- are retained and will remain visible.

6.1.2.3 The Rectory

The removal of the Rectory will impact upon the significance of the site because it involves the removal of a building that has stood on the site for almost 100 years. The impact is mitigated by the following:

- This statement, and an earlier heritage assessment prepared by others, have identified the Rectory as being of lesser significance than the Church and Church Hall, which are both retained by the proposed works.
- The Rectory is not a rare building type and not of high aesthetic significance.
- The removal of the Rectory allows for the construction of a new church/hall that will serve the needs of the congregation and minimise its visual impact on the Church and Church Hall. The site of the Rectory is the best location for a new building of the proposed massing and scale because it is well removed from the Church and Hall, outside of their significant view corridors, and located adjacent to two storey townhouses, providing a good transition between this site and the surrounding area.
- The Rectory is sufficiently removed from nearby heritage items and does not form a part of their immediate setting. Their setting is mixed, as is reflected by the fact that they are not located within a Conservation Area.

6.1.3 The Proposed New Building

Construct a new free standing building on the site of the Rectory. The new building will be two storeys in height and will include a basement carpark accessed from Dunmore Street North. The principal elevation is the western elevation, addressing Dunmore Street North.

The new finishes will include face brick, light weight metal panelling (several types, profiles and colours) and clear glazing.

The proposed new building will have an acceptable impact for the following reasons:

- It is largely free standing. It is only linked to the proposed addition to the existing Church Hall by a single storey awning.
- This is the best location on the site for a new building with respect to the retained Church and Church Hall. It is as far removed from these buildings as possible and

will not block significant view corridors towards them. It is located adjacent to two storey town houses.

- The building is appropriately orientated on the site in terms of existing streetscape pattern and the orientation of the Church, which is the building on the site that addresses the same street.
- The building lies below the height of the Church.
- The building is clearly contemporary in design, which is an appropriate response to a new building on a heritage site. It does not seek to replicate the high-pitched roof form of the Church or Church Hall. The building demonstrates a greater void to solid ratio than the Church or Church Hall in an effort to maximise amenity. The glazing, however, has a vertical emphasis that compliments the openings in both the Church and Church Hall.
- The proposed finishes are contemporary in nature. They will not overwhelm with the painted finish of the Church or the face brick finish of the Church Hall.
- The new building will not impact on significant view corridors to/from the Church Hall.
- The new building will not block significant view corridors towards the Church. The proposed new building is sufficiently removed from the Church for the limited view corridors towards the Church on approach along Dunmore Street North from the south. The proposed new building will lie behind the Church in view corridors from Albyn Street. A building of this massing and scale, materiality and at this degree of separation from the Church will not have undue prominence in the setting of the Church.
- The building is part of a larger scheme that includes landscape works that will assist in the integration of the building into the site.

6.1.4 Site Works

It is proposed to remove the following site elements:

***The brick wall and associated gates along the Dunmore Street North boundary
Fencing/walls along the boundary***

The impact of removing this brick wall is acceptable because:

- The brick wall is a later addition to the site and is not a strong streetscape element. It is not essential to retaining an understanding of the significance of the site.
- The plaques will be salvaged and retained on site.

The internal fences

The removal of existing fences within the site will have no impact. These are not heritage significant fences.

The clothes bin near Albyn Street.

The removal of the clothes bin will have no impact. It is not heritage significant fabric.

The trees marked for removal on the accompanying plans. Note: there is existing approval for the removal of a number of these trees.

None of the trees to be removed are of heritage significance. The most visible are the cypress trees adjacent to the entrance porch. These trees are relatively recent additions to the site. Their removal will have a positive impact because they are visually intrusive. The Church will be more visible from Forest Road.

The following new site works are proposed:

Widen the existing cross over into the car park off Dunmore Street North.

Widening the existing opening will have no impact. The impact on the adjoining heritage listed street trees is discussed below. The impact on the brick wall was discussed above.

***Resurface the existing carpark in black asphalt; and
Fence the existing carpark.***

These works will have an acceptable impact. An asphalt car park will not impact on the ability to understand the significance of the Church or Church Hall or detract from their setting.

The proposed fencing is integrated into the site with new landscaping. The fence and landscaping will change how visible the western elevation of the Church Hall is from the public domain. The impact is acceptable because, given the recession of the Hall from the street, the view corridors towards the Church Hall from Dunmore Street North are secondary view corridors.

Move the existing AC units northwards from their current location.

This work will have no impact. The AC units will remain free standing. They do not have undue prominence on this side of the Church.

Install a rack for bicycle parking on the southern side of the Church.

This work will have no impact. The rack will remain free standing and removable. The rack will not have undue visual prominence in this location.

Lay new paving in the areas marked on the accompanying plans, including ramped access from Albyn Street; and

Construct a low retaining wall to provide level play space to the west of the Church Hall for the Childcare Centre.

The proposed new low retaining wall will have an acceptable impact. The levels will not be altered to the extent that significant view corridors are impacted upon.

The proposed paving is part of a co-ordinated landscaping scheme that will tie the different buildings on the site together.

Install a new fences in the locations marked on the plans.

The proposed fences are required for the Church Hall to operate for childcare and for safety. The impact is acceptable because:

- No new fencing is proposed in front of the existing Church, maintaining existing view corridors from the public domain.
- No new fencing is proposed in front of the Church Hall, maintain existing view corridors towards the primary elevation from Albyn Street.
- The proposed fencing within the site will be visible from the public domain and in conjunction with the existing Hall and Church. The fence is simple in detail: an open palisade with a transparent acoustic barrier behind will be further integrated with the use of planting.

Install new sandpit, informal seating etc. for the child care centre to the west of the Church Hall.

This work enables an appropriate adaptive re-use for the hall. All these elements will be integrated into the setting of the Church and Hall with landscaping. Sandpits, seating etc. are reversible.

Carry out new planting in the areas marked on the accompanying plans, including new hedges along the Albyn Street frontage, low lying shrubs to the Dunmore Street North frontage and trees in the locations marked.

Landscaping does not appear to have been a major element on the site in the past and has changed over time. The proposed new landscaping will connect all the different buildings on the site together. It will not block the primary view corridors that existing towards the front elevation of the Church Hall or the front and northern elevation of the Church. Planting will help integrate the proposed new childcare fences into the setting of the buildings.

6.2 Effect of Works on Heritage Items in the Vicinity of the Site

6.2.1 Street Plantings, Dunmore Street North (I113)

Refer to the arborist report for separate assessment of the physical impacts of the proposed works on the street trees. Methods of the protection and retention of the trees are provided.

The proposed works will not obstruct view corridors towards the street trees.

The proposed works will impact upon the setting of the trees because buildings/fencing are removed and new buildings constructed. Changing the types of buildings lying adjacent to the trees, however, will not impact upon the ability to understand the significance of the trees as deliberate street plantings.

6.2.2 Other

The proposed works will have no impact on the fabric of Nos. 12-20 Dunmore Street and will not block view corridors to/from them. The public will still be able to view and appreciate these items.

Nos. 12-20 Dunmore Street North are separated from the site by Dunmore Street North and by a distance of between 50m (No. 12) and 75m (No. 20). The proposed works will have a minimal and acceptable impact on their setting for the following reasons:

- The removal of the Rectory will have a minimal impact because it does not read strongly within the setting of these items. It is removed from them by distance and is separated from them by the road. View corridors between the Rectory and the group are oblique angled view corridors and are further disrupted by the residential flat buildings/town houses that lie with this part of the street.
- The street trees that contribute to the wider setting of these items are retained.
- The trees on the site to be removed do not make a strong contribution to the setting of these items and will be replaced with new planting.
- The proposed works to the Church Hall will not be visible from these items or form part of their setting.
- The proposed new building will have an acceptable impact on the setting of these items for the following reasons:
 - The visual relationship between the site of the proposed new building and these items is an obliquely angled view corridor.
 - The setting of these items in this direction is mixed in character and already disrupted by buildings or building complexes of a greater massing and scale than the proposed building.

7.0 CONCLUSION

This Heritage Impact Statement has outlined the history and assessed the significance of Christ Church, Bexley, New South Wales.

Christ Church, Bexley, has local historic and social significance as a place of Anglican worship since the late 1880s. Its central significance lies not in the buildings on the site, but in its continuous use by the Congregation since this time. The construction of the Church in c.1887 is symbolic of the growth in the area at this time as the railway was constructed, land subdivided and the population grew. The Church has aesthetic significance as a good example of a Late Victorian Gothic Style church that has some fine features, such as stained glass windows by Lyon and Cottier. Its corner location gives it prominence in what is a mixed streetscape. The construction of the Church Hall in c.1912 and Rectory in the early 1920s reflects the ongoing growth of the congregation. The Hall is a good and substantially intact example of a Federation Style church hall.

The Church is the most significant building on the site. The only works proposed to this building is the removal of the majority of the original pews to facilitate adaptive reuse. This work will have an acceptable impact. The pews can be removed without damaging fabric and can be archivally recorded in situ prior to removal if required. A number of pews will be retained in the Church.

The works proposed to the Church Hall will have a positive impact in that they will include structural works to ensure that the building can be safely used. The proposed alterations and additions to this building retain a full understanding of the original form and style of the building. Internal works will retain an understanding of finishes and, in places, an understanding of the original volume of the space.

The removal of the Rectory will have an acceptable impact. It is less critical than the Church and Church Hall in understanding of the significance of the site and it has less architectural merit than either building. Its removal allows for the construction of a large new hall which will support the ongoing use of the site by its congregation. The proposed new building is located in the best location for a building of this massing and scale on this site. The new building will not block the most significant view corridors to the Church or Hall and will not dominate them. The proposed new landscaping will tie all the buildings together and contribute to their setting in what is an otherwise mixed streetscape.

The proposed works will not impact on the significance of the adjacent heritage listed street trees and are sufficiently removed from a group of heritage listed dwellings on Dunmore Street North to have no direct impact on their immediate setting.

The proposed works support the ongoing use of the site by the local Anglican community which is its original and best use and integral to its significance whilst respecting the historic and architectural significance of the Church and Church Hall and nearby heritage items.